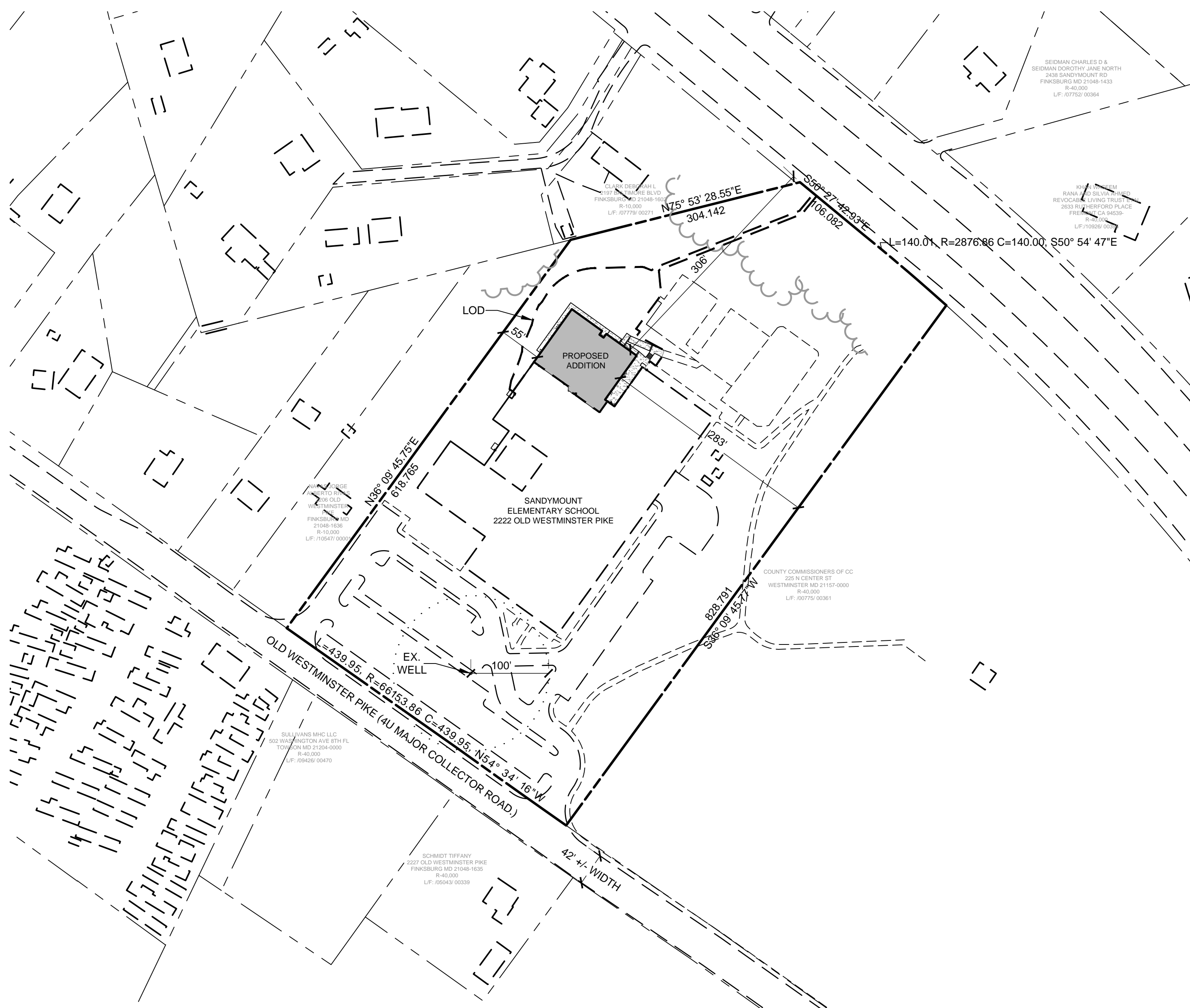
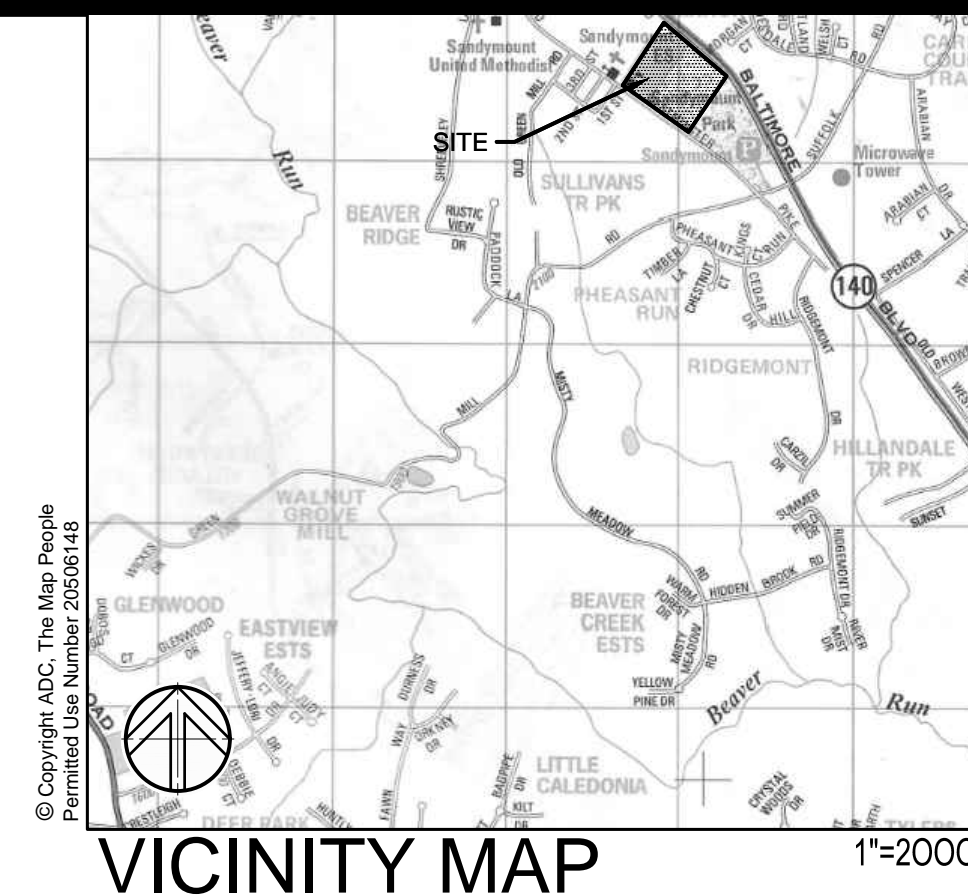
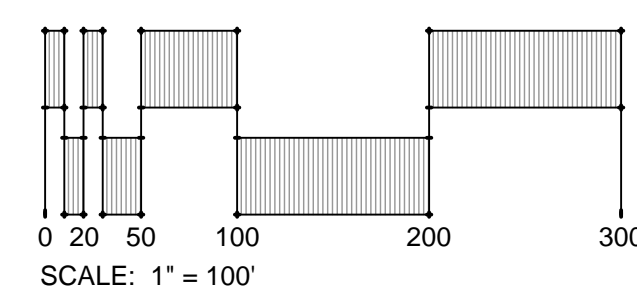


# CONCEPT SITE DEVELOPMENT PLAN FOR SANDYMOUNT ELEMENTARY SCHOOL 2222 OLD WESTMINSTER PIKE, FINKSBURG, MD 21048



### Sheet Index

Sheet Number	Sheet Title
1	C001 Cover Sheet
2	C002 General Notes
3	C003 Addition Building Elevation
4	C101 Existing Conditions and Demolition Plan
5	C111 Layout & Utility Plan
6	C131 Grading Plan
7	C201 Site Details
8	C501 Existing Condition and Resource Mapping SWM Plan
9	C511 Proposed Conditions SWM Plan
10	C512 SWM ESD DA Map
13	L101 Landscape Plan



### SITE DATA:

**SITE ADDRESS:** 2222 OLD WESTMINSTER PIKE  
FINKSBURG, MD 21048

**OWNER/DEVELOPER:** WILLIAM CAINE  
410-386-1817  
BOARD OF EDUCATION OF CARROLL COUNTY  
125 NORTH COURT STREET  
WESTMINSTER, MD 21157

**PROPERTY REFERENCE:** TAX MAP: 53  
GRID: 20  
PARCEL: 465  
ELECTION DISTRICT: 04-002

**PROPERTY LAND AREA:** 8.01 ACRES

**TOTAL DEVELOPED AREA:** 16241.60 SF OR 3.7 ACRES

**EXISTING/PROPOSED USE:** ELEMENTARY SCHOOL/ELEMENTARY SCHOOL

**PROPOSED ADDITION AREA:** 8,740 SF

**ZONING:** CONSERVATION (CONSERVATION DISTRICT)

**STUDENT ENROLLMENT:** CURRENT: 579  
PROJECTED: 624

**STAFF:** CURRENT: 93  
PROJECTED: 95

**SETBACKS:** FRONT: 50 FT  
SIDE: 100 FT  
REAR: 50 FT

**PARKING LOT TABULATION:** EXISTING: 117  
PROPOSED: 117

**TRIP GENERATION:** NO ADDITIONAL TRIPS OR BUSES ARE PLANNED.

**FLOODPLAIN INFO:** THE SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN AS DELINEATED ON FEMA FLOOD INSURANCE RATE MAP 24013C0220D. THE SITE IS LOCATED IN ZONE "X" WHICH MEANS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION:** THERE ARE TWO HYDRANTS ALONG THE EXISTING 8" WATER LINE NEAR THE NORTH PAVED PLAY AREA AND SOUTH WEST CORNER OF THE SCHOOL.

### SEPTIC DESIGN NOTE:

THE EXISTING SEPTIC SYSTEM WAS DESIGNED WITH A PEAK CAPACITY Q OF 17,500 GPD PER SEPTIC SYSTEM LAYOUT PLAN FROM ADDITION PROJECT DATED 11/1990.

PROJECTED STUDENT ENROLLMENT SHALL BE 624, WITH 27 STUDENTS PER DAY ATTENDING ON-SITE DAYCARE SERVICES. THE POST-DEVELOPMENT PEAK FLOW PER MDE GUIDANCE ON WASTEWATER FLOWS FOR USE IN DESIGNING ON-SITE SYSTEMS:

$$Q = (627 \times 20 \text{ GAL/PERSON/DAY}) + (27 \times 15 \text{ GAL/PERSON/DAY}) = 12,540 + 405 = 12,945 \text{ GPD}$$

BASED ON THESE CALCULATIONS, THE FLOWS TO THE EXISTING SEPTIC SYSTEM FROM THIS DEVELOPMENT DO NOT EXCEED THE PERMITTED CAPACITY.

### WATER RESOURCE NOTES:

1. THE PROPOSED PROJECT IS IN A SURFACE WATER PROTECTION AREA.
2. THERE WILL BE NO USE, TRANSFER, OR STORAGE OF REGULATED SUBSTANCES ON SITE.
3. THE PROJECT IS NOT WITHIN A TIER II CATCHMENT.

### CARROLL COUNTY PLANNING AND ZONING COMMISSION

BY \_\_\_\_\_ DATE \_\_\_\_\_

### OWNER/DEVELOPER CERTIFICATION

I/We certify that all proposed work shown on these construction drawing(s) has been reviewed by me/us and that I/We fully understand what is necessary to accomplish this work and that the work will be conducted in strict accordance with these plans. I/We also understand that any changes to these plans will require an amended plan to be reviewed and approved by the Carroll County Zoning Commission before any change in the work is made.

NAME(S) (PRINTED) \_\_\_\_\_ DATE \_\_\_\_\_

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

### CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING

### CARROLL COUNTY SOIL CONSERVATION DISTRICT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT

APPROVED \_\_\_\_\_ CARROLL S.C.D. / DATE \_\_\_\_\_

### CARROLL COUNTY HEALTH DEPARTMENT

BY \_\_\_\_\_ DATE \_\_\_\_\_

COUNTY FILE NUMBER:  
S-23-0032

SANDYMOUNT ELEMENTARY SCHOOL PRE-K &  
KINDERGARTEN ADDITIONS

CARROLL COUNTY PUBLIC SCHOOLS  
1110 GIST ROAD, WESTMINSTER, MD 21157

PROJECT NO.: 631390  
DATE: \_\_\_\_\_  
REVISIONS

DATE	DESCRIPTION

COVER SHEET

C001

SHEET 1 OF 13



PROFESSIONAL ENGINEER  
I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 53852. EXPIRATION DATE: 10/15/2028.

SITERESOURCES  
Creating Design. Accelerating Progress.  
1110 GIST ROAD  
WESTMINSTER, MD 21157  
WWW.SANDYMOUNTARCH.COM

MOSELEYARCHITECTS

1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21230  
PHONE (410) 539-4500 FAX (410) 539-0660  
MOSELEYARCHITECTS.COM

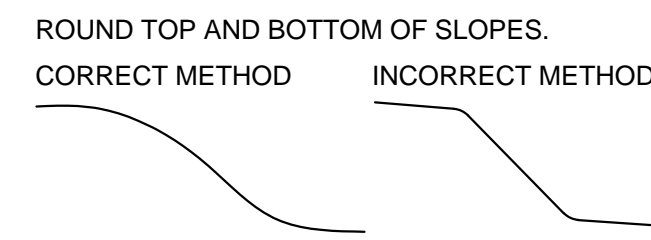


**GENERAL NOTES** (THESE NOTES PERTAIN TO ALL CIVIL DRAWINGS)

- EXISTING INFORMATION AND CONDITIONS NOT GUARANTEED; VERIFY AND TEST PIT EXISTING UTILITIES: THE CORRECTNESS AND COMPLETENESS OF THE INFORMATION SHOWING EXISTING CONDITIONS IS NOT GUARANTEED. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PERFORM THE FOLLOWING TASKS:
  - NOTIFY MISS UTILITY AT 1-800-257-7777, AND MAKE SURE THEY COMPLETE THE MARKING OF UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AT LEAST 48 HOURS PRIOR TO INSURING AND BEGINNING CONSTRUCTION. CONTROL MEASURES, MAINTAIN ALL MARKINGS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL ALSO INCLUDE IN HIS BID PRICE MARKING OF ON-SITE UTILITIES THAT MIGHT NOT BE MARKED BY MISS UTILITY; THE CONTRACTOR SHALL EITHER MARK THESE ON-SITE UTILITIES HIMSELF OR BY SUBCONTRACTING WITH A PRIVATE ON-SITE UTILITY LOCATION COMPANY.
  - VERIFY THE GENERAL ACCURACY OF THE EXISTING CONDITIONS SHOWN ON THE SITE DRAWINGS BY VISUAL INSPECTION OF THE SURFACE OF THE SITE AND ALL EXISTING STRUCTURES, PAVING AND UTILITY APPURTENANCES VISIBLE THEREON;
  - WITH REGARD TO THE STRUCTURES & APPURTENANCES OBSERVED AS REQUIRED PER ITEM (B) ABOVE, DETERMINE THE TYPE, SIZE, LOCATION AND ELEVATION OF ALL THOSE EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO ALL STORM DRAINS, SANITARY LINES, WATER LINES, GAS LINES, STEAM LINES, ELECTRIC LINES, TELEPHONE LINES, AND COMMUNICATION DUCTS, AND ALL MANHOLES, INLETS, CLEAN-OUTS, VALVES, HANDHOLES, ETC. RELATED THERETO) WITHIN THE LIMITS OF CONSTRUCTION IN ORDER TO: (I) AVOID DAMAGING OR DISRUPTING SERVICE, AND (II) TO COORDINATE AND FACILITATE CONSTRUCTION OF PROPOSED UTILITIES AND OTHER IMPROVEMENTS. IN ADDITION TO THE CONTRACTOR'S VISUAL OBSERVATION AND THE UTILITY MARKING (AS REQUIRED ABOVE), THE CONTRACTOR SHALL SCHEDULE AND COMPLETE TEST PITTING OF ALL EXISTING UTILITIES (FOR THE PURPOSES SET FORTH ABOVE) AND SHALL DO SO IN A TIMELY MANNER IN ORDER TO ALLOW TIME FOR ANALYSIS AND REDESIGN BY SITE RESOURCES AND/OR OTHER CONSULTANTS, WITHOUT DELAYING THE PROJECT SCHEDULE.
  - IMMEDIATELY REPORT TO SITE RESOURCES, INC. THE RESULTS OF STEPS (A), (B) AND (C) WHICH MIGHT INDICATE ANY DISCREPANCY BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE PLAN, AND ANY POTENTIAL CONFLICTS BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONDITION.

**TEST PITTING DEFINED:** FOR THE PURPOSES OF THIS CONTRACT, EXCAVATION OF UTILITY TRENCHES DOES NOT CONSTITUTE TEST PITTING. TEST PITTING IS A SEPARATE OPERATION COMPLETED AT LEAST SEVEN DAYS BEFORE UTILITY INSTALLATION IS SCHEDULED TO BEGIN. TEST PITTING MEANS EXCAVATION TO EXPOSE EXISTING UTILITIES IN TWO SITUATIONS: (I) WHERE PROPOSED IMPROVEMENTS CROSS EXISTING UTILITIES (PIPES, LINES, STRUCTURES, APPURTENANCES) AND; (II) WHERE PROPOSED UTILITIES ARE DESIGNED TO CONNECT TO EXISTING UTILITIES. TEST PITTING INCLUDES RECORDING THE TYPE, SIZE, LOCATION AND ELEVATION OF THE EXPOSED UTILITIES, AND FAXING AND MAILING THE RECORD TO SITE RESOURCES, INC. AND THE OWNER. THE RECORD MAY BE A LEGIBLE HAND-WRITTEN FIELD SKETCH.
- EXISTING AND PROPOSED GAS LINES, ELECTRIC LINES, TELEPHONE LINES, COMMUNICATION LINES AND OTHER UTILITIES: THESE DRAWINGS INCLUDE INFORMATION AND DEPICTIONS OF BALTIMORE GAS & ELECTRIC COMPANY'S (BGE) ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE GENERAL PROJECT AREA. LOCATIONS, DIMENSIONS, DEPTHS, AND OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS ACTUALLY CONSTRUCTED, AND THE INFORMATION SHALL NOT BE RELIED UPON WITHOUT FIELD VERIFICATION BY TEST PITTING AS DEFINED ABOVE. EXCAVATORS MUST EMPLOY SAFE DIGGING PRACTICES WHEN APPROACHING BGE ELECTRIC AND/OR GAS UTILITIES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS INCLUDING, BUT NOT LIMITED TO, THE LAW GOVERNING NOTIFICATION OF MISS UTILITY. NO REPRESENTATION, GUARANTEES, OR WARRANTIES EXPRESSED OR IMPLIED ARE MADE BY BGE OR SITE RESOURCES, INC. AS TO THE QUALITY, COMPLETENESS, OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING THESE DRAWINGS, THE RECIPIENT EXPRESSLY AGREES THAT IT IS NOT RELYING ON THE ACCURACY OF THE SAME.
- COORDINATION BETWEEN PROPOSED UTILITIES: THE CONTRACTOR SHALL ADJUST THE LOCATION AND ELEVATION OF PROPOSED GAS LINES, ELECTRIC LINES, TELEPHONE LINES, COMMUNICATION LINES, AND WATER LINES AS NEEDED TO CONSTRUCT THE PROPOSED STORM DRAINS AND SANITARY SEWER WITH MINIMUM CLEARANCES. COORDINATE WITH THE MECHANICAL/ELECTRICAL DRAWINGS AND SPECIFICATIONS AND APPROPRIATE UTILITY COMPANY.
- RELOCATION OF EXISTING UTILITIES: IN THE EVENT THAT THE LOCATION OR ELEVATION OF EXISTING MINOR UNDERGROUND ELECTRIC LINES AND PHONE LINES CONFLICT WITH PROPOSED STORM DRAINS, SANITARY SEWER LINES OR WATER LINES, THE CONTRACTOR SHALL, WITH THE PERMISSION OF THE OWNER AND WITHOUT AN EXTRA COST TO THE PROJECT, ADJUST THESE LINES TO PERMIT INSTALLATION OF THE NEW UTILITIES. IN THE EVENT THAT ANY OTHER UTILITY IS RELOCATED TO ACCOMMODATE A NEW UTILITY, SAID RELOCATION SHALL BE AN EXTRA COST TO THE PROJECT, SUBJECT TO THE TERMS AND CONDITIONS OF THE CONSTRUCTION CONTRACT.
- UTILITIES TO REMAIN OPERATIONAL: ADJUSTMENT FOR FINAL GRADE: ALL EXISTING UTILITIES SHALL BE RETAINED UNLESS MARKED OTHERWISE. EXISTING UTILITIES NOT TO BE REMOVED ARE TO REMAIN OPERATIONAL AT ALL TIMES. EXISTING UTILITIES TO BE REPLACED OR RELOCATED SHALL REMAIN IN SERVICE UNTIL REPLACED OR RELOCATED UTILITIES ARE OPERATIONAL. ALL EXISTING UTILITY APPURTENANCES SHALL BE ADJUSTED FOR FINAL GRADE.
- UTILITY TRENCHING, BACKFILL AND COMPACTION: ALL TRENCHING FOR SANITARY SEWER, STORM DRAINS AND WATER MAINS SHALL BE DONE IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION PUBLISHED BY CARROLL COUNTY AS AMENDED TO DATE.
- UTILITY CERTIFICATION: THE CONTRACTOR SHALL HAVE A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND CERTIFY, ON A FORM PROVIDED BY THE OWNER, THAT ALL PROPOSED STORM DRAINS, SANITARY SEWERS AND WATER LINES SHOWN HEREON WERE INSTALLED IN ACCORDANCE WITH THESE PLANS AND CARROLL COUNTY SPECIFICATIONS. IF SAID CERTIFICATION IS NOT POSSIBLE BECAUSE THE UTILITIES WERE NOT INSTALLED IN ACCORDANCE WITH THESE PLANS AND CARROLL COUNTY SPECIFICATIONS, THEN THE OWNER HAS THE OPTION OF WAIVING, IN WRITING, THIS CERTIFICATION, IN WHOLE OR PART; IF THE OWNER DOES NOT ELECT TO WAIVE THE CERTIFICATION, THE CONTRACTOR SHALL ADJUST AND, IF NECESSARY, RECONSTRUCT THE UTILITIES TO BRING THEM IN CONFORMANCE WITH THESE PLANS AND CARROLL COUNTY SPECIFICATIONS.
- UTILITY CAPPING AND PROTECTION: ALL BUILDING CONNECTIONS SHALL BE CAPPED AT UPSTREAM END, 5 FEET FROM PROPOSED BUILDINGS, CAISSONS OR COLUMN FOOTINGS OR AS NOTED, AND SHALL BE PROTECTED BY PROVIDING THREE STAKES (THE HEIGHT BEING A MINIMUM OF 18 INCHES ABOVE PROPOSED GRADE) WITH HIGH VISIBILITY FLAGGING AROUND THE CAPPED END OF THE UTILITY.
- PROPOSED WATER LINES: PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 4'-0" COVER FROM FINISHED GRADE, 1'-0" CLEARANCE FROM STORM DRAINS AND 1'-0" CLEARANCE FROM SANITARY SEWERS, UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS. ALL WATER MAINS 3" OR LARGER SHALL BE CLASS 54 DIP MEETING AWWA C110/C153. ALL WATER LINES 2" AND SMALLER SHALL BE TYPE K COPPER TUBING MEETING THE MATERIAL, CHEMICAL, AND MECHANICAL REQUIREMENTS OF ASTM B-88.
- PROPOSED STORM DRAINS: ALL STORM DRAINS 12 INCHES AND LARGER SHALL BE CLASS IV REINFORCED CONCRETE CULVERT PIPE (RCCP) UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS.
- PROPOSED SANITARY SEWERS: ALL PIPE AND FITTINGS FOR SANITARY HOUSE CONNECTION SHALL BE POLYVINYL CHLORIDE (PVC) MEETING MATERIAL REQUIREMENTS OF ASTM D3034, (SDR-35 OR SDR-26 AS APPROPRIATE FOR DEPTH OF BURY) UNLESS INDICATED OTHERWISE ON THESE CONSTRUCTION DRAWINGS. JOINTS SHALL BE ELASTOMERIC GASKETED.
- STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS: UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS, ALL CONSTRUCTION SHALL FOLLOW THE LATEST STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION PUBLISHED BY CARROLL COUNTY AS AMENDED TO DATE.
- SEDIMENT CONTROL: THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UTILITIES TO AVOID CONSTRUCTION PROBLEMS/CONFLICTS WITH SEDIMENT AND EROSION CONTROL MEASURES. ANY DISTURBANCE TO SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REPAIRED AT THE END OF EACH WORKING DAY. CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN LIMITS OF CONSTRUCTION ARE STABILIZED. WITH THE APPROVAL OF SEDIMENT CONTROL INSPECTOR, ALL SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND AREAS RESTORED AND STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PUBLICATION ENTITLED 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

- DISTURBED AREAS: ALL AREAS DISTURBED BY THE CONTRACTOR DURING OR PRIOR TO CONSTRUCTION, NOT DESIGNATED TO RECEIVE PAVING, MULCH OR SOLID SOD SHALL BE FINE GRADED, SEEDED AND MULCHED IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES AND SPECIFICATIONS SHOWN ON THE SEDIMENT CONTROL DRAWINGS.
- REPAIR AND REPLACEMENT OF DAMAGE CAUSED BY CONTRACTOR AND SUBCONTRACTORS: IN THE EVENT THAT THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS DAMAGE ANY EXISTING CURB, GUTTER, PAVING, UTILITIES, SIDEWALKS, TREES, SHRUBS, LAWNS, OR ANY OTHER EXISTING CONDITIONS (NOT INDICATED TO BE DEMOLISHED), OR ANY NEWLY INSTALLED PROPOSED IMPROVEMENT, THE GENERAL CONTRACTOR SHALL REPAIR AND REPLACE SAID DAMAGE TO OWNER'S SATISFACTION, AT GENERAL CONTRACTOR'S SOLE COST AND EXPENSE.
- BENCHMARKS: SEE EXISTING CONDITIONS AND DEMOLITION PLAN.
- ELEVATION AND LABELING: ALL SPOT GRADE ELEVATIONS IN ROADWAYS AND PARKING LOTS ARE FOR BOTTOM OF CURB UNLESS OTHERWISE NOTED. ELEVATIONS ON HARD SURFACES (ROADS, WALKS, WALLS, STEPS, MANHOLES, INLETS, ETC.) ARE LABELED TO THE HUNDRETH OF A FOOT (E.G. 245.45). ELEVATIONS ON PROPOSED LAWN AND PLANTING AREAS ARE LABELED TO THE TENTH OF A FOOT (E.G. 245.5).
- DIMENSIONS: UNLESS OTHERWISE NOTED ON THE DRAWING, ALL DIMENSIONS SHOWN ON THE SITE DRAWINGS FOLLOW THESE CONVENTIONS:
  - DIMENSIONS TO A BUILDING OR RETAINING WALL ARE TO THE FACE OF THE WALL;
  - DIMENSIONS TO A CURB ARE TO THE FACE (NOT THE BACK) OF THE CURB;
  - DIMENSIONS TO A FENCE ARE TO THE CENTERLINE OF THE FENCE;
  - DIMENSIONS FOR SIDEWALKS ABUTTING A CURB ARE FROM THE FACE OF CURB TO THE BACK EDGE OF THE WALK;
  - DIMENSIONS FOR OTHER SIDEWALKS OR OPEN PAVING SECTIONS ARE MEASURED TO THE EDGE OF PAVING;
  - DIMENSIONS TO A MANHOLE, INLET, CLEANOUT, PIPE BEND, VALVE, FIRE HYDRANT OR OTHER UTILITY APPURTENANCE ARE TO THE CENTER OF THE STRUCTURE;
  - DIMENSIONS FOR STEPS ARE TO THE OUTER EDGE OF THE STAIRCASE AND THE NOSE OF THE TOP OR BOTTOM STEP;
  - LAYOUT OF SEDIMENT CONTROL MEASURES AND PLANT MATERIAL SHALL BE SCALED.



- COMPACTION: ALL EARTH FILL MATERIAL UNDER SLABS, FOOTINGS AND PAVED AREAS SHALL BE PLACED IN 8" LOOSE LAYERS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D 698. ALL OTHER FILL SHALL BE COMPACTED TO 90%.
- HEADINGS: THE HEADINGS CONTAINED IN THESE GENERAL NOTES ARE FOR THE CONVENIENCE OF THE READER ONLY AND SHALL NOT LIMIT THE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETING SUCH WORK.
- ABBREVIATIONS:
 

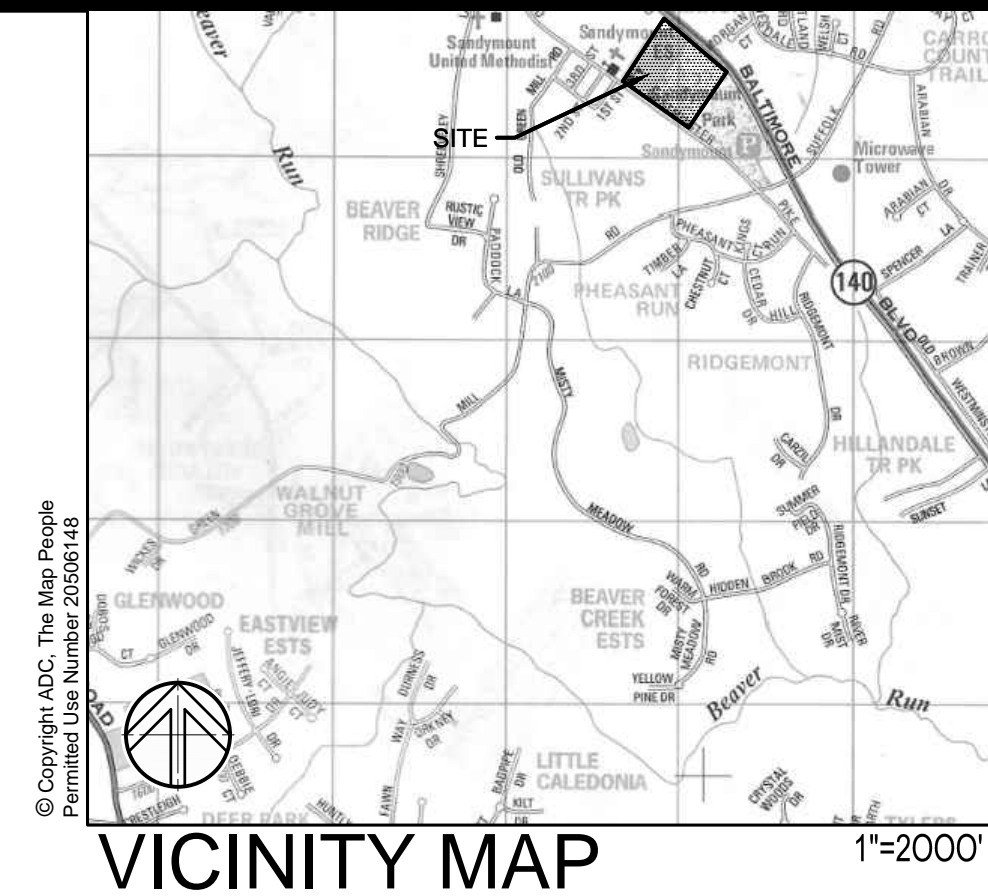
PROP	PROPOSED*	DIP	DUCTILE IRON PIPE
EX	EXISTING	PVC	POLYVINYL CHLORIDE PIPE
ASPH	ASPHALT	HDPE	HIGH DENSITY POLYETHYLENE PIPE
CONC	CONCRETE	CMP	CORRUGATED METAL PIPE
M OR MH	MANHOLE	RCCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN	C&G	CONCRETE CURB & GUTTER
I	INLET	INV	INVERT ELEVATION
SAN	SANITARY SEWER	FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION	FH	FIRE HYDRANT
BF	BASEMENT FLOOR ELEVATION		
TC	TOP OF CURB	BC	BOTTOM OF CURB
TS	TOP OF STEP	BS	BOTTOM OF STEP
TW	TOP OF WALL	BW	BOTTOM OF WALL
PC	POINT OF CURVATURE	PS	PARKING SPACE
PT	POINT OF TANGENCY	HC	HANDICAPPED PARKING SPACE
PI	POINT OF INTERSECTION	TYP	TYPICAL
AGIP	AT-GRADE INLET PROTECTION	CIP	CURB INLET PROTECTION
COIP	COMBINATION INLET PROTECTION	ED	EARTH DIKE
FB	FILTER BAG	IB	INLET BLOCKING
RPS	REMOVABLE PUMPING STATION	SCE	STABILIZED CONSTRUCTION ENTRANCE
SFD	SUPER FENCE DIVERSION	SIP	STANDARD INLET PROTECTION
SP	SUMP PIT	SSF	SUPER SILT FENCE
TS	TEMPORARY SWALE	TSOS	TEMPORARY STONE OUTLET STRUCTURE

\*PROPOSED MEANS WORK INCLUDED IN THE BASE CONTRACT UNLESS ACCOMPANIED BY THE PHRASES "N.I.C." OR "BY OTHERS."

- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES): IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL THE PROVISIONS AND REQUIREMENTS OF THE NPDES PERMIT. THE PERMIT HAS BEEN APPLIED FOR BY THE OWNER, BUT NO LAND DISTURBANCE IS PERMITTED UNTIL THE NPDES PERMIT HAS BEEN ISSUED.
- ALL SIDEWALKS, PATHS AND OTHER PAVED AREAS SHALL BE FINISH GRADED WITH A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20) AND A MAXIMUM CROSS SLOPE OF 2% (1:50) UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL SITE ELEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH THE ADA 2010 STANDARDS FOR ACCESSIBLE DESIGN OR MOST CURRENT.
- TO THE EXTENT THAT QUANTITIES MAY BE LISTED ON THESE PLANS, THEY ARE FOR PERMITTING PURPOSES ONLY AND NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL FORM HIS OWN CONCLUSIONS ABOUT THE QUANTITIES OF ALL MATERIALS AND OPERATIONS NECESSARY TO COMPLETE THE PROJECT.
- SWM AS-BUILT NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY, ON BEHALF OF THE OWNER, TO ENGAGE A LICENSED PROFESSIONAL ENGINEER TO CERTIFY THE STORMWATER MANAGEMENT FACILITIES AND TO PREPARE, SUBMIT AND PROCESS AS-BUILT DRAWINGS WITH THE AUTHORITIES HAVING JURISDICTION.

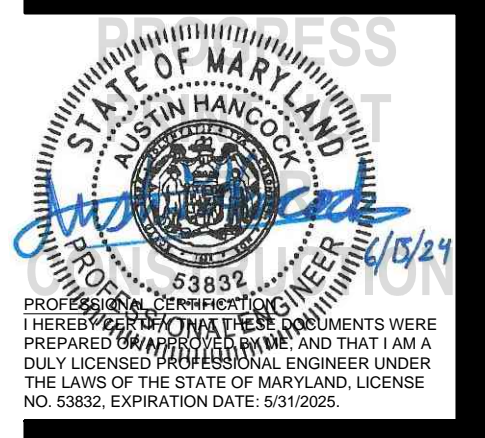
**INSPECTION SEQUENCE NOTES**

- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
  - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE PLANS.
  - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE PLANS.
  - SUB-GRADE ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
  - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
  - COMPLETION OF ALL WORKS SHOWN ON PLANS.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH BUREAU OF RESOURCE MANAGEMENT ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT, MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS FOR MODIFICATIONS IN THE PLANT MATERIALS.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.



**MOSELEY ARCHITECTS**

1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21230  
PHONE (410) 539-4500 FAX (410) 539-0660  
MOSELEYARCHITECTS.COM



**SITERESOURCES**  
Civil design • Surveying • Engineering  
11110 GIST ROAD, WESTMINSTER, MD 21157  
PH: 410.883.3388 WWW.SITERESOURCES.COM

**SANDY MOUNT ELEMENTARY SCHOOL PRE-K & KINDERGARTEN ADDITIONS**

**CARROLL COUNTY PUBLIC SCHOOLS**  
11110 GIST ROAD, WESTMINSTER, MD 21157

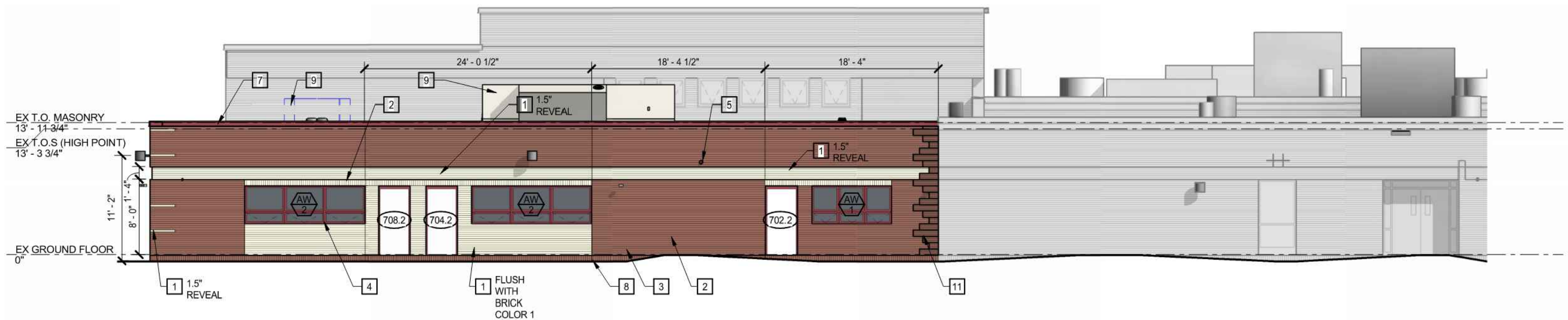
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REVISIONS	
DATE	DESCRIPTION

**GENERAL NOTES**

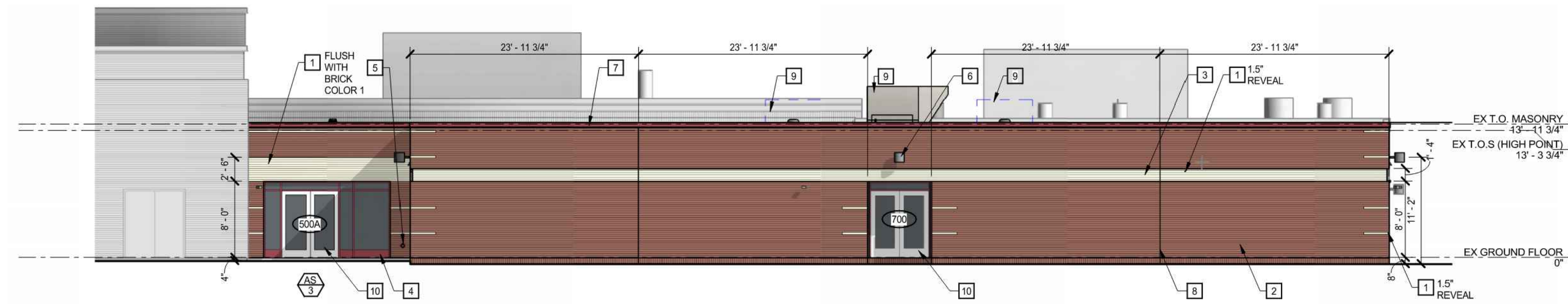
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S-23-0032

**C002**  
SHEET 2 OF 13

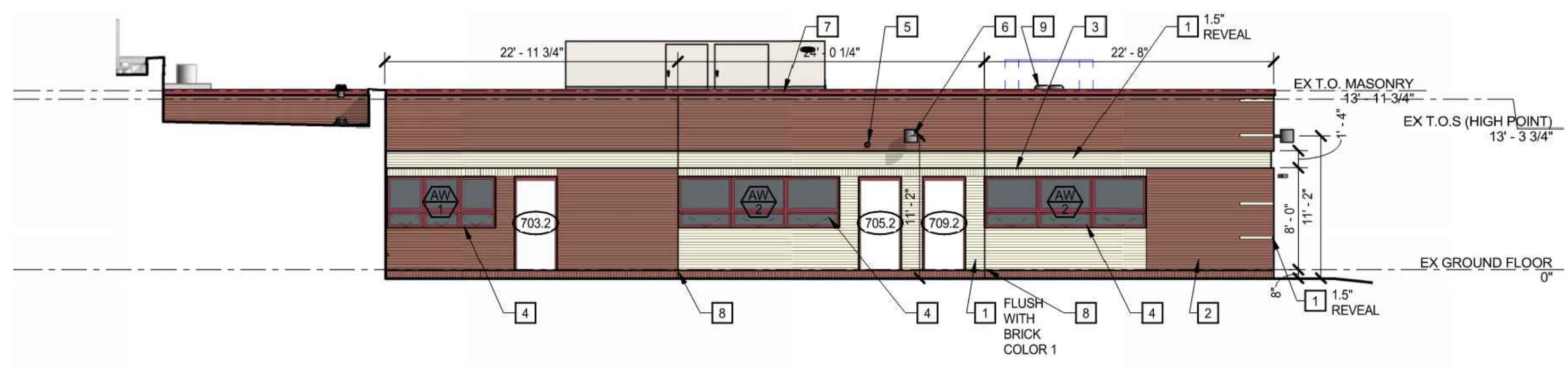




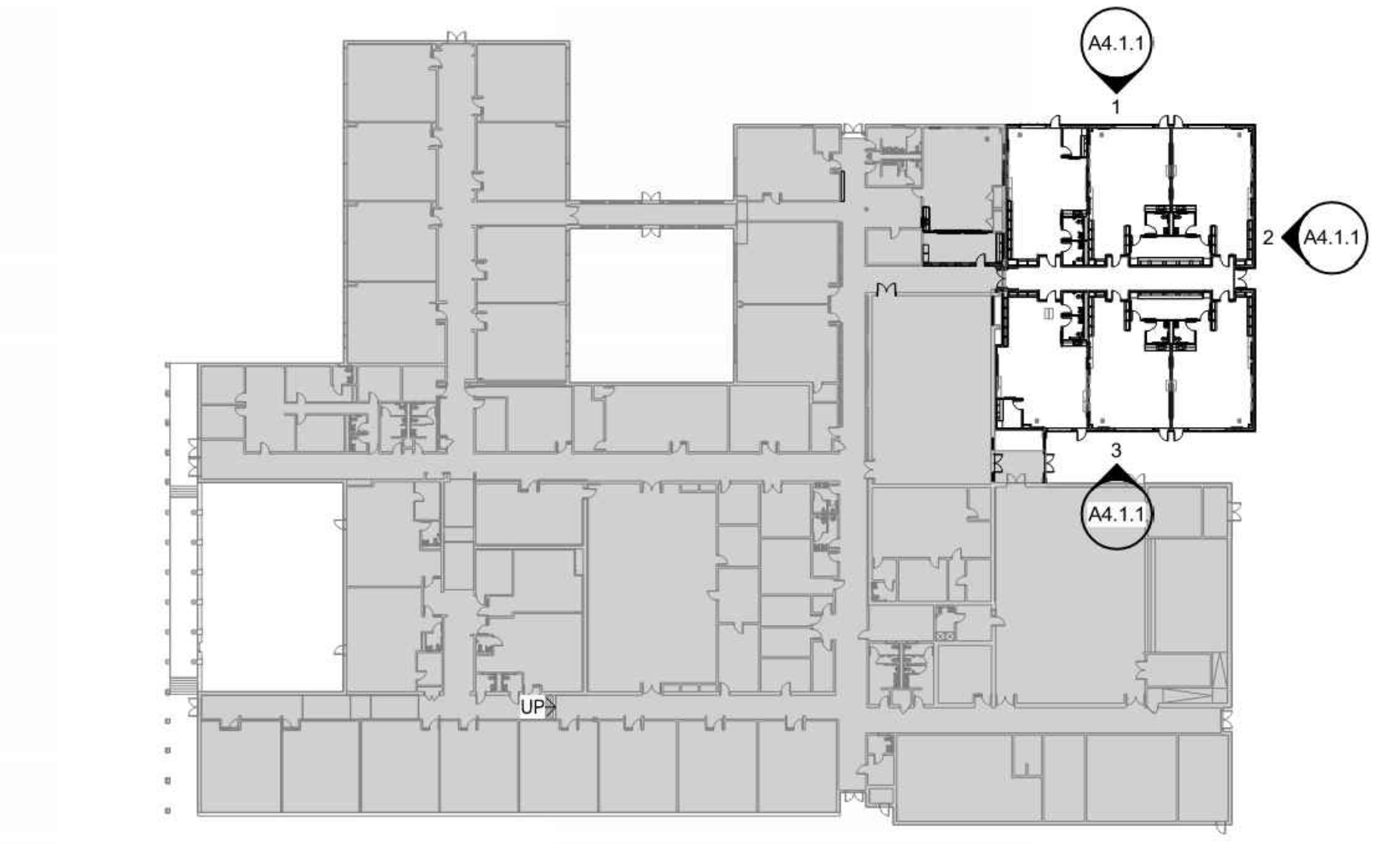
**1 NORTHWEST ELEVATION**  
TYP A4.1.1 1/8" = 1'-0"



**2 NORTHEAST ELEVATION**  
TYP A4.1.1 1/8" = 1'-0"



**3 SOUTHEAST ELEVATION**  
TYP A4.1.1 1/8" = 1'-0"



**KEY PLAN**

**BUILDING ELEVATION KEYNOTES**

REPRESENTED BY [Symbol]  
APPLIES TO DRAWINGS A4.2n

- 1 BRICK TYPE 2, COLOR 2
- 2 BRICK TYPE 1, COLOR 1, TO MATCH EXISTING
- 3 BRICK COURSING, BRICK TYPE 3, COLOR 2
- 4 FRAME TYPES AND COLOR TO MATCH EXISTING, TYP.
- 5 DOWNSPOUT
- 6 WALL PACK. SEE ELECTRICAL SHEET FOR MORE INFORMATION
- 7 COPING COLOR TO MATCH ETR COPING COLOR.
- 8 CONTROL JOINT
- 9 NEW MECHANICAL EQUIPMENT. SEE MECHANICAL SHEETS FOR MORE INFORMATION
- 10 NEW DOUBLE DOOR. SEE SHEETS A3.1 FOR MORE INFORMATION
- 11 BRICK CORNICE. TO MATCH EXISTING BRICK COLOR

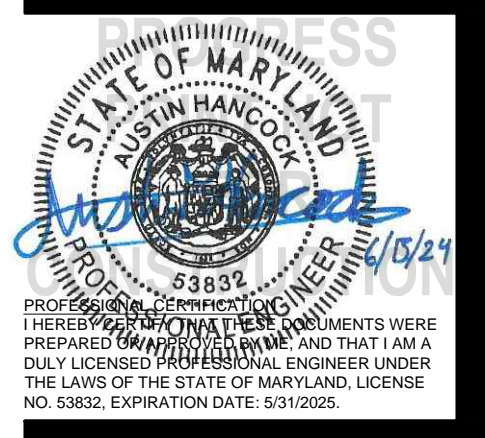
**GENERAL NOTES**

- A. MASONRY BOND PATTERN SHALL BE RUNNING BOND UNLESS OTHERWISE INDICATED. REFER TO DETAILS FOR MASONRY PATTERNS, BONDING, SPECIAL SHAPES AND MORTAR COLOR PATTERNS.
- B. MASONRY EXPOSED TO VIEW AT FINISH GRADE SHALL MATCH VENEER (NO EXPOSED CMU). REFER TO STRUCTURAL DRAWINGS FOR TOP OF FOOTING ELEVATIONS.
- C. PROVIDE SEALANT AT ALL INTERSECTIONS OF DISSIMILAR MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS. ALL EXTERIOR SEALANTS TO BE A CUSTOM COLOR SELECTED BY THE ARCHITECT. MORE THAN ONE SEALANT COLOR MAY BE SELECTED FOR USE ALONG THE HEIGHT OF THE SAME JOINT TO MATCH ADJOINING MASONRY OR MORTAR.
- D. ALL EXPOSED EXTERIOR METAL TO BE UNPAINTED GALVANIZED UNLESS OTHERWISE INDICATED.
- E. REFER TO SHEET A.02 FOR TYPICAL EXTERIOR CONTROL JOINT DETAILS AND NOTES.
- F. REFER TO A3 SERIES DRAWINGS FOR WINDOW, DOOR AND LOUVER SCHEDULES AND INFORMATION.
- G. ALL THROUGH-WALL OPENINGS SUCH AS VENTS AND LOUVERS SHALL MATCH COLOR OF SURROUNDING BUILDING MATERIAL, TYP.
- H. REFER TO FIRE PROTECTION, PLUMBING AND CIVIL DRAWINGS FOR FIRE DEPARTMENT CONNECTION LOCATION & UTILITIES.
- I. BRICK TYPE 1 AT ALL WALLS U.O.N.

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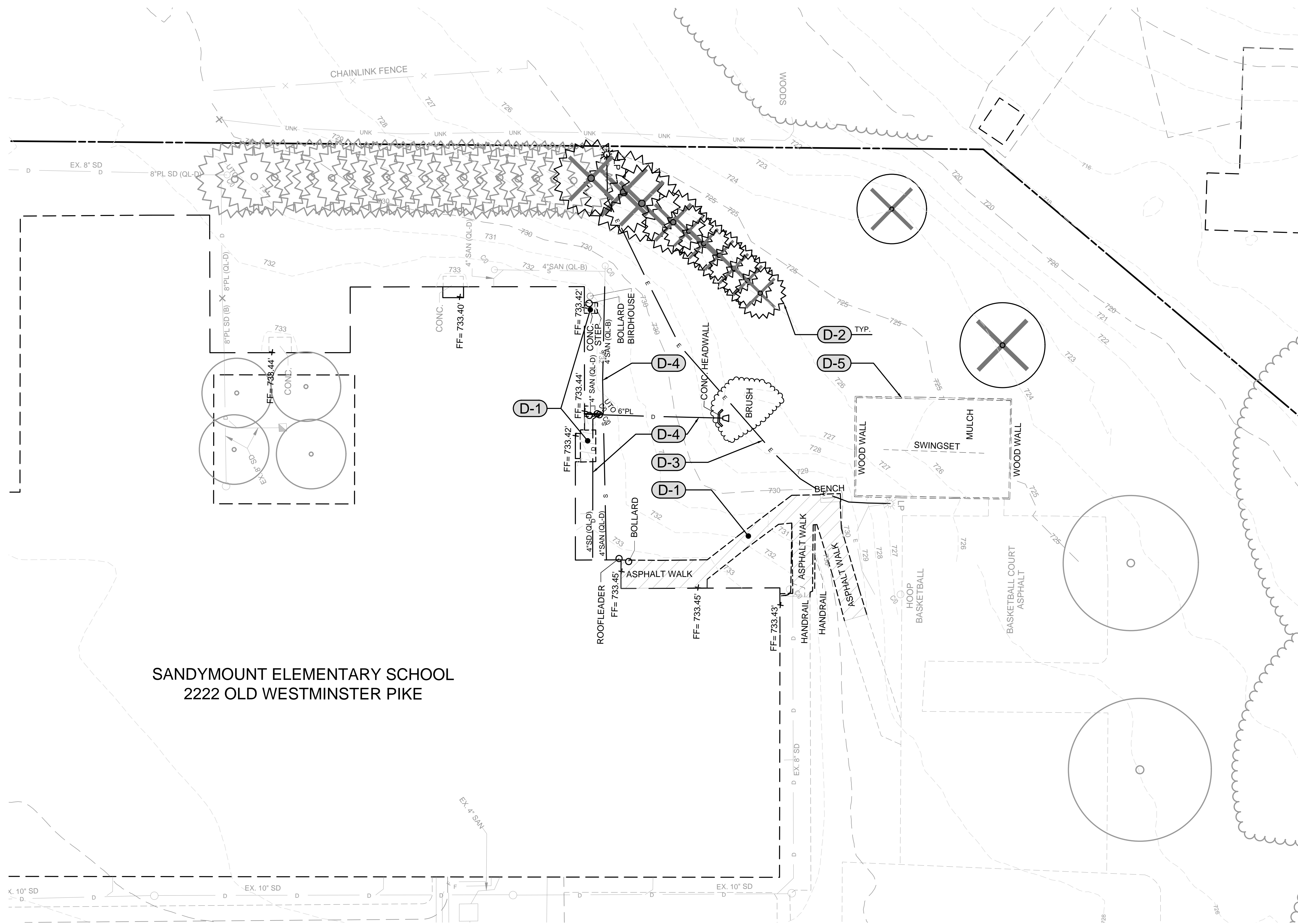
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**ADDITION BUILDING ELEVATION**

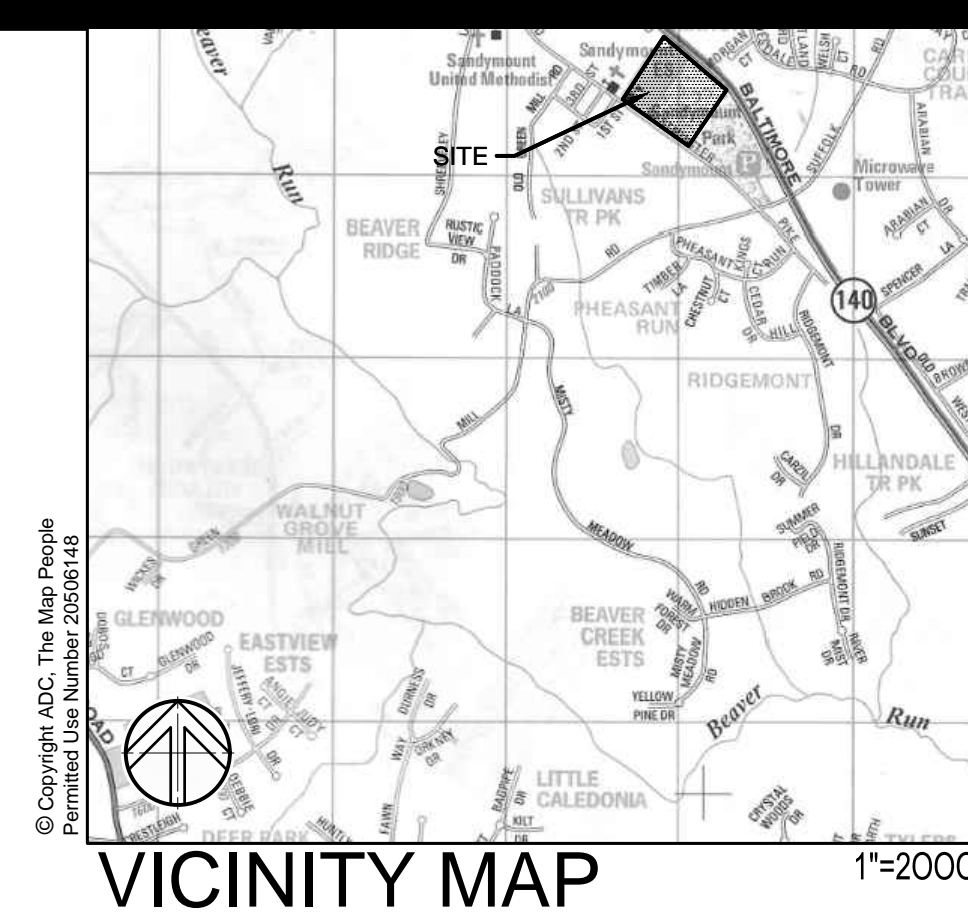
**C003**

SHEET 3 OF 13





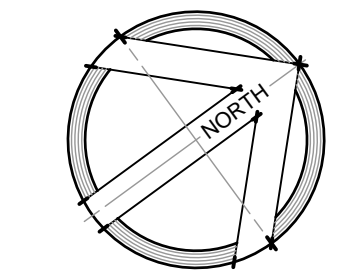
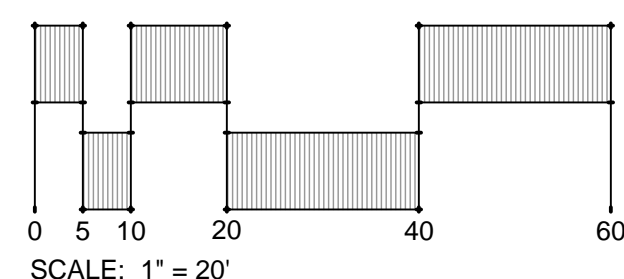
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### LEGEND

	PROPERTY LINE
	EXISTING BUILDING TO REMAIN
	EXISTING WALK TO REMAIN
	EXISTING WALK TO BE REMOVED
	EXISTING CONCRETE PAVING TO BE REMOVED
	EXISTING FENCE TO REMAIN
	EXISTING TREELINE TO REMAIN
	EXISTING TREELINE TO BE REMOVED
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	EX. 15" SD TO REMAIN
	EX. 15" SD TO BE REMOVED
	EX. 6" W TO REMAIN
	EX. 8" SAN TO REMAIN
	EX. 8" SAN TO BE REMOVED
	EX. FUEL OIL TO REMAIN
	EX. UNKNOWN UTILITY TO REMAIN
	EX. ELEC TO REMAIN
	EX. ELEC TO BE REMOVED
	EXISTING LIGHTING TO REMAIN
	EXISTING LIGHTING TO BE REMOVED
	EXISTING CONTOURS

- ### DEMOLITION NOTES
- D-1** REMOVE PAVEMENT AND BASE MATERIAL.
  - D-2** REMOVE TREES, STUMPS AND MAJOR ROOTS. REPLACE WITH APPROVED COMPACTED FILL (TYP.)
  - D-3** REMOVE CONDUIT AND SITE LIGHTING AS SHOWN. CONTRACTOR SHALL COORDINATE WITH CCPS.
  - D-4** REMOVE UTILITIES AS REQUIRED FOR PROPOSED ADDITION CONSTRUCTION. ABANDON REMAINING PIPING AS FILL WITH FLOWABLE FILL. REFER TO MEP PLANS FOR PLUMBING CONNECTIONS.
  - D-5** REMOVE PLAY EQUIPMENT, PLAY AREA, AND BASE MATERIAL.



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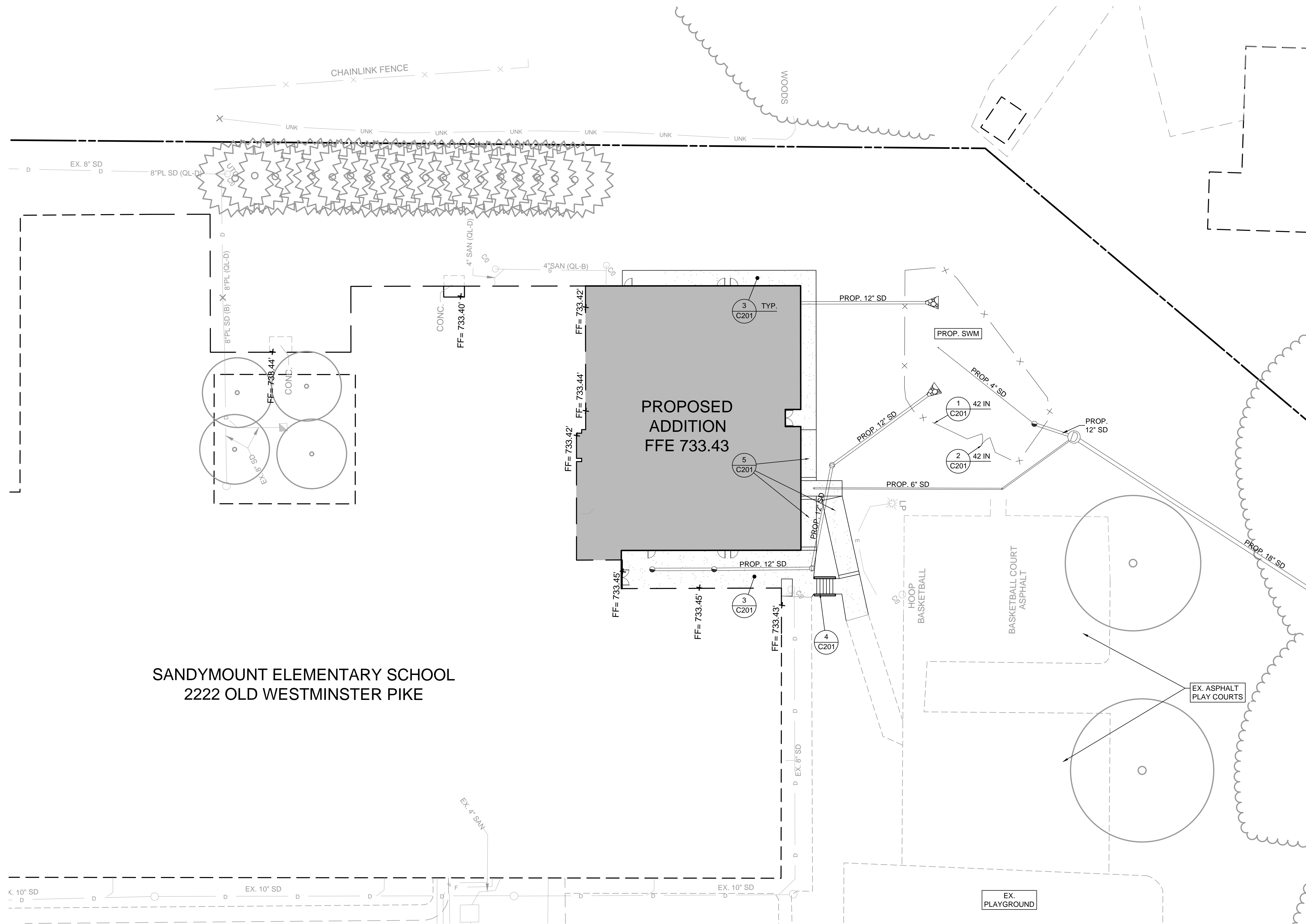
PROJECT NO. 631390	DATE:
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EXISTING CONDITIONS & DEMOLITION PLAN

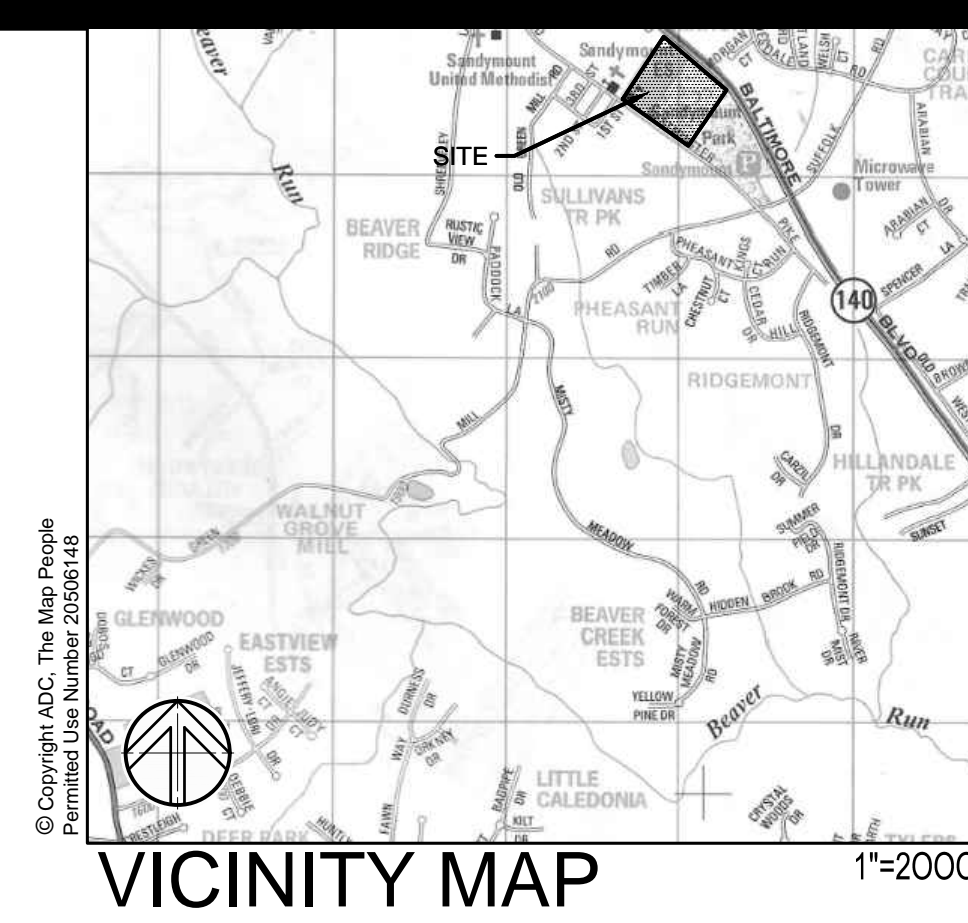
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SHEET 4 OF 13



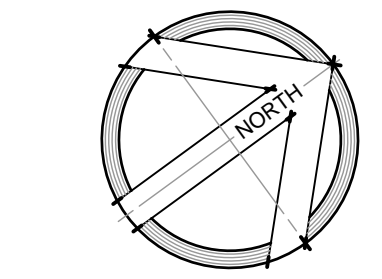
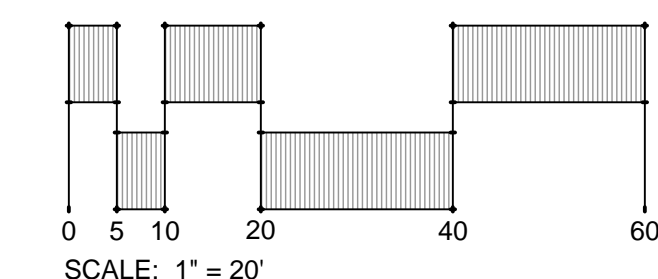
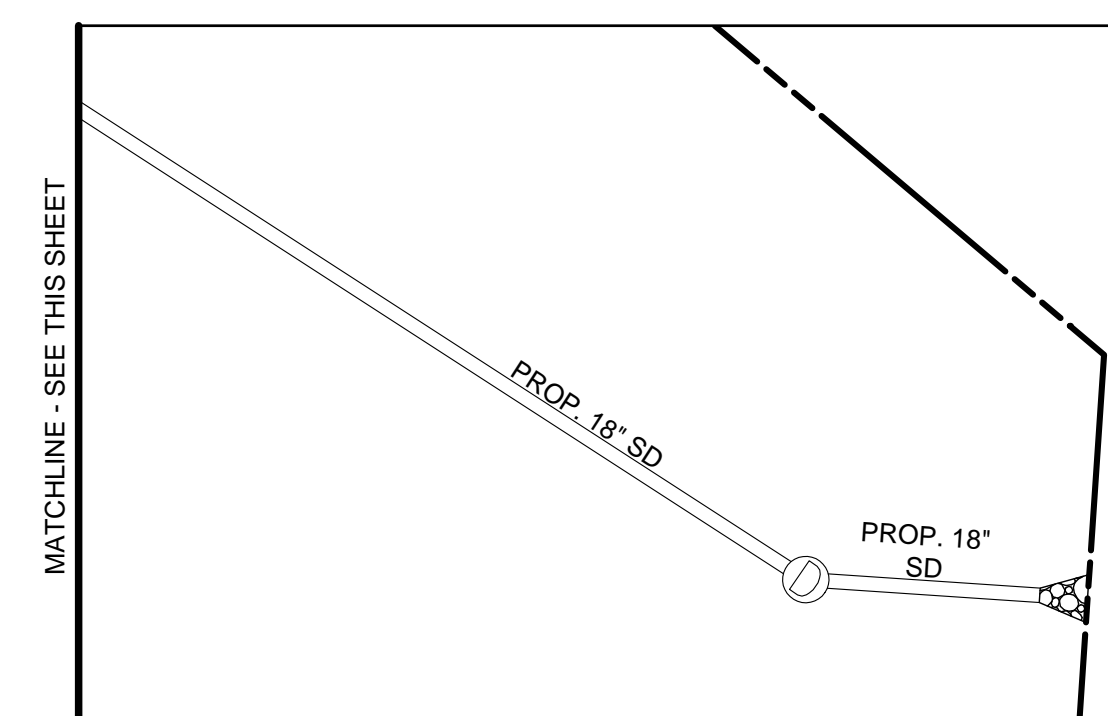


SANDYMOUNT ELEMENTARY SCHOOL  
2222 OLD WESTMINSTER PIKE



**LEGEND**

	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING TREES
	EXISTING SHRUBS
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING FUEL OIL
	EXISTING TELEPHONE
	EXISTING ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING LIGHTING
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED FENCE
	PROPOSED STORM DRAIN



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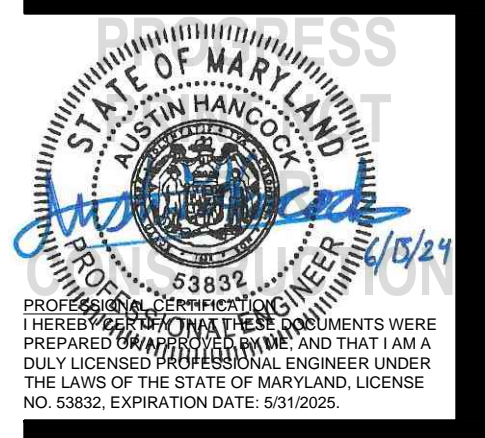
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LAYOUT & UTILITY PLAN

**C111**  
SHEET 5 OF 13

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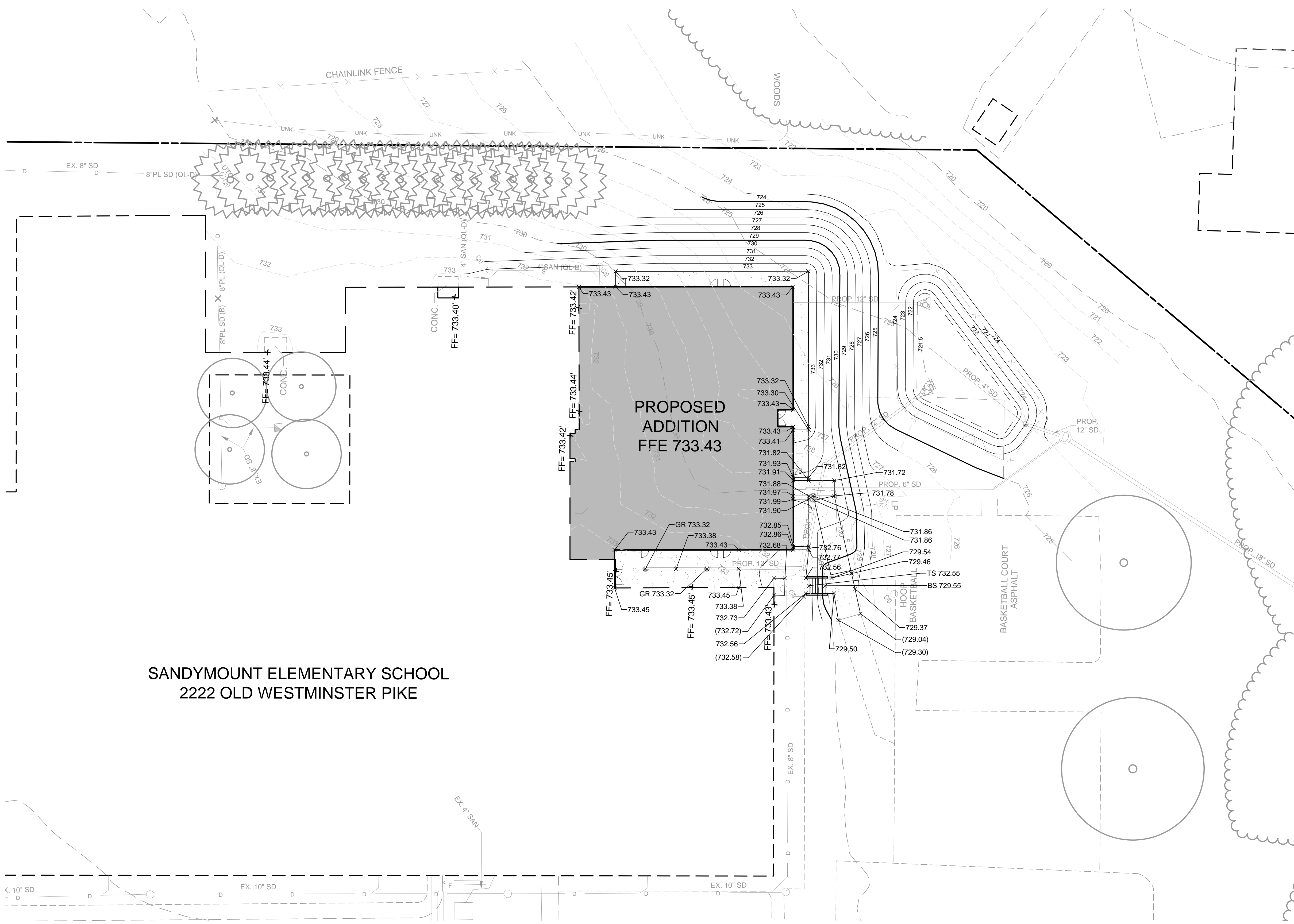


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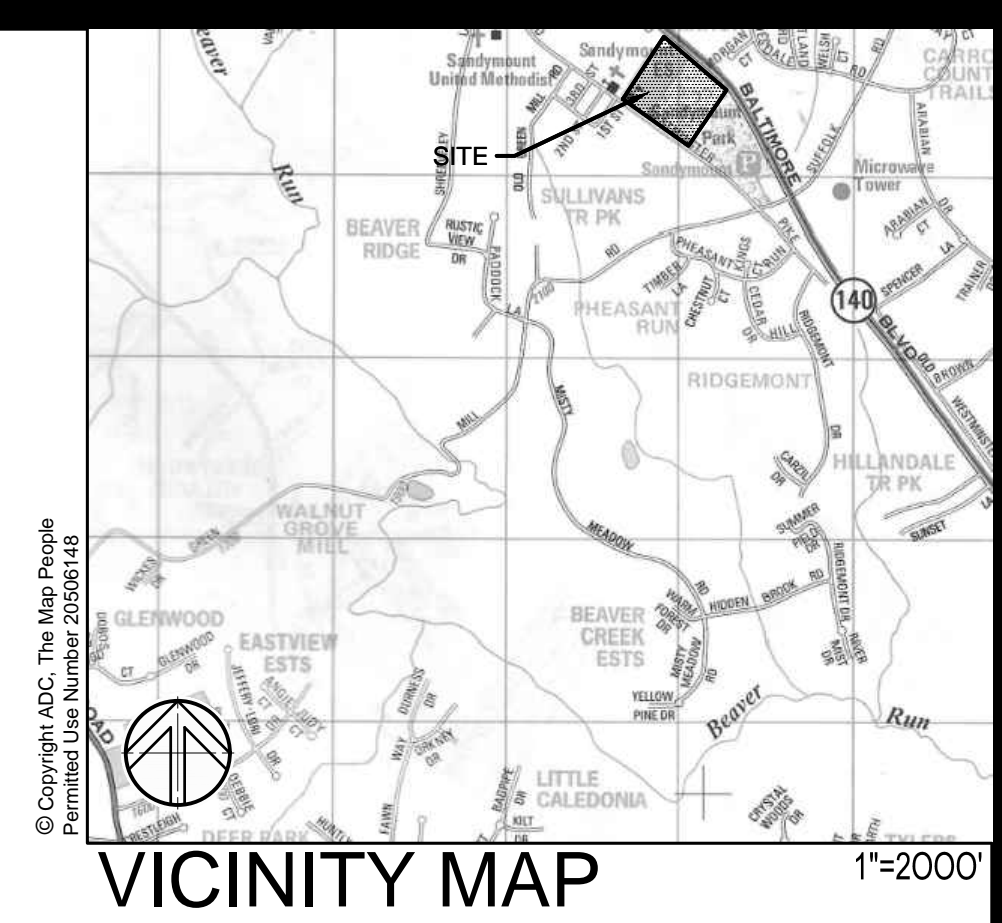
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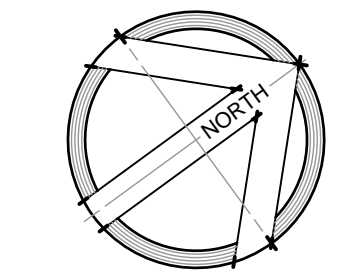
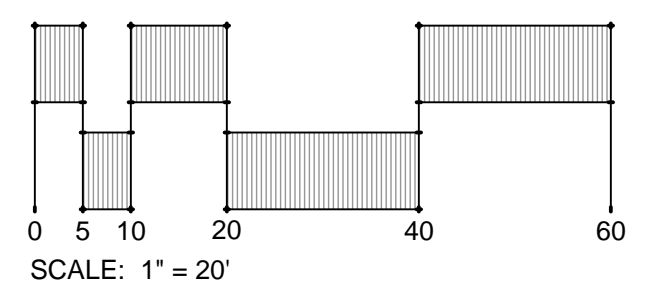
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**LEGEND**

	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING TREES
	EXISTING SHRUBS
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING FUEL OIL
	EXISTING TELEPHONE
	EXISTING ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING LIGHTING
	EXISTING CONTOURS
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED FENCE
	PROPOSED STORM DRAIN
	PROPOSED CONTOURS

**GENERAL NOTES:**  
1. UNLESS OTHERWISE NOTED, SPOT ELEVATIONS AT CURBS ARE FOR BOTTOM OF CURB.



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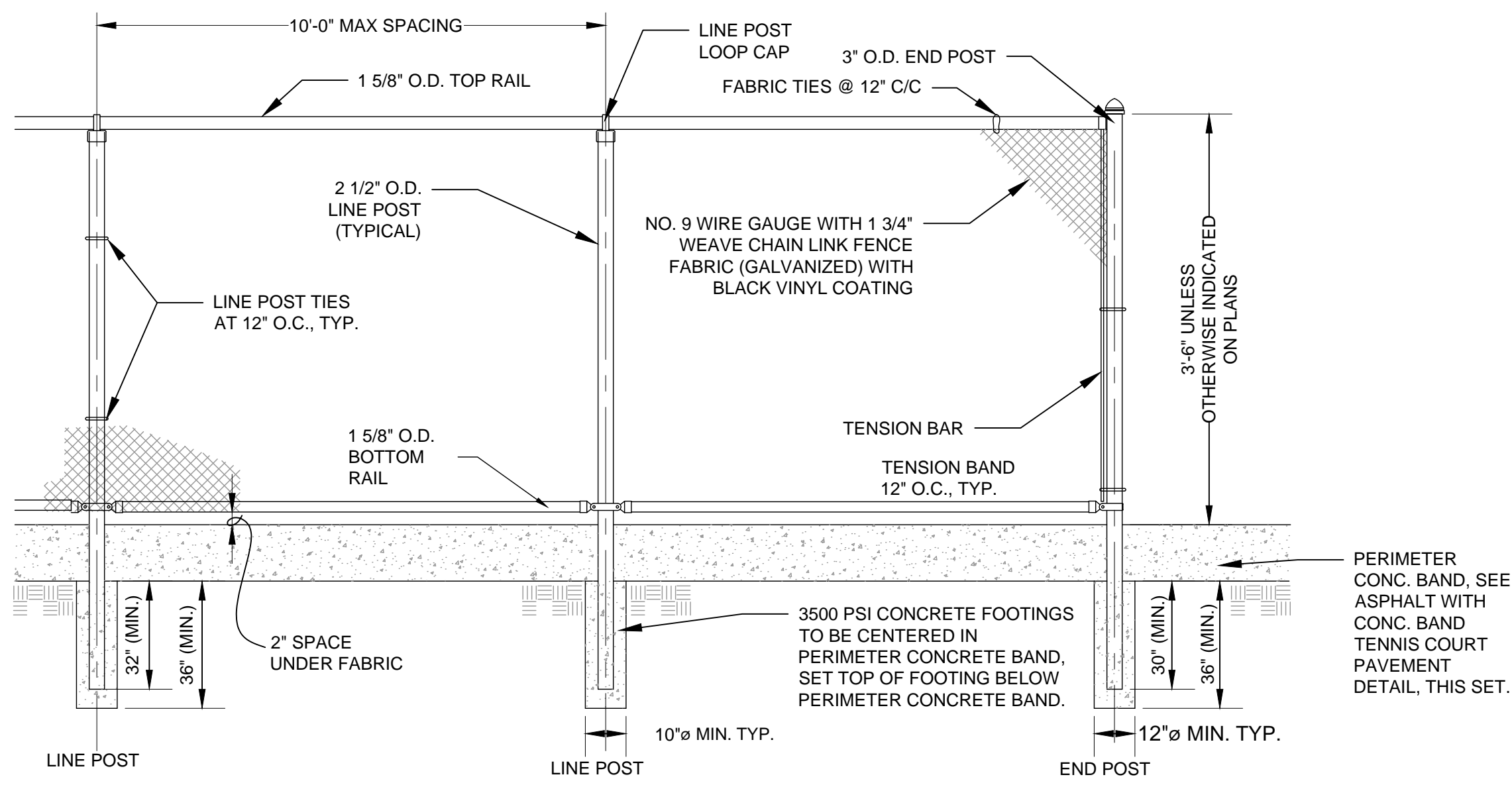
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GRADING PLAN

**C131**  
SHEET 6 OF 13

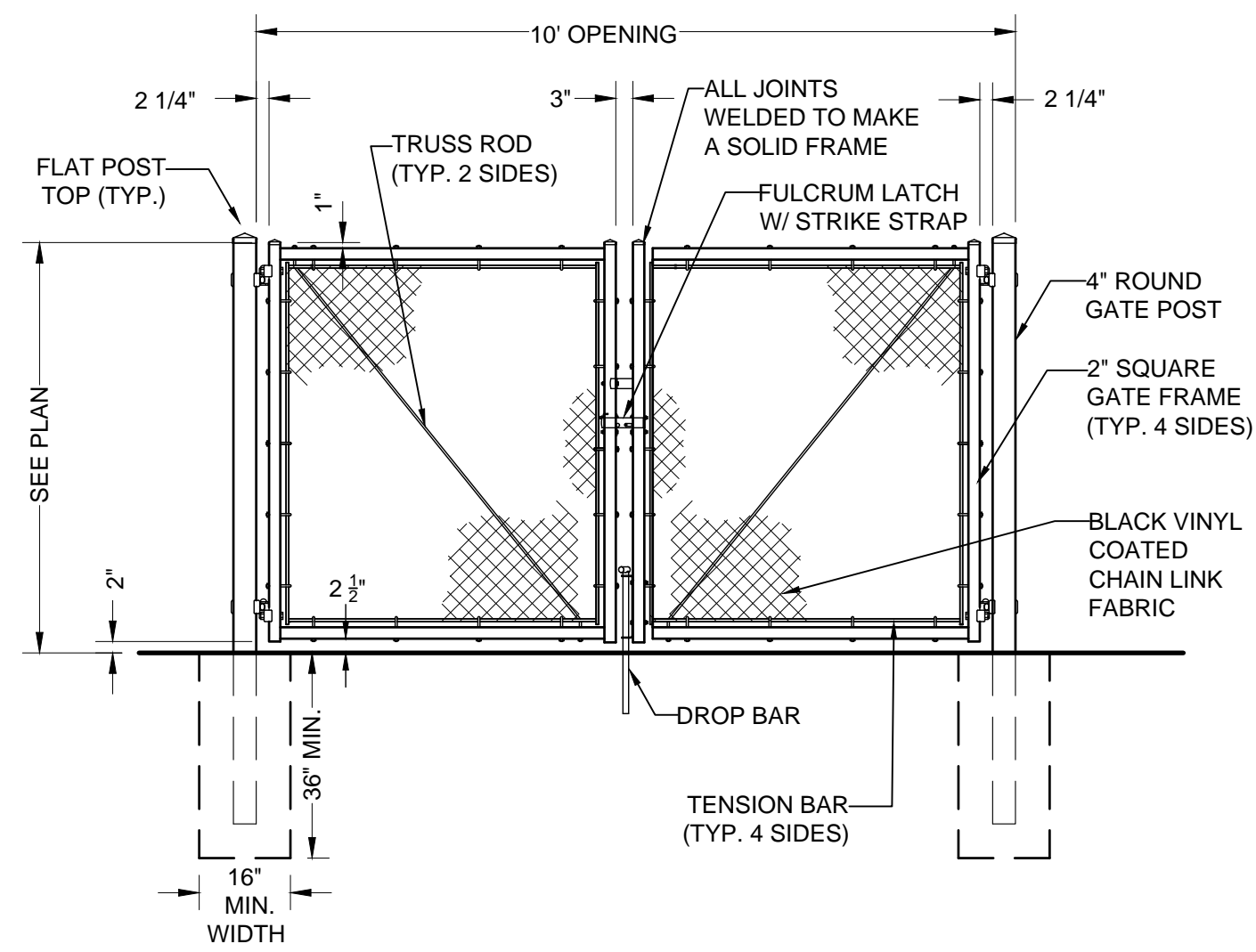




- NOTES**
- MATERIALS TO MEET REQUIREMENTS OF AASHTO M 181.
  - FENCE FABRIC TO BE 1 3/4" WEAVE VINYL COATED CHAIN LINK, 11 GAUGE GALVANIZED WIRE DIAMETER PRIOR TO VINYL COATING. COLOR OF VINYL: BLACK. INSTALL FENCE FABRIC ON COURT SIDE OF POSTS AND RAILS.
  - FENCING AT GRADE CHANGES TO BE IN ACCORDANCE WITH MSHA STANDARD MD-690.02.
  - ALL LINE POST, TERMINAL POST, RAILS, CAPS AND HARDWARE TO BE SCHEDULE 40 AND HAVE A BLACK POWDER COAT FINISH.

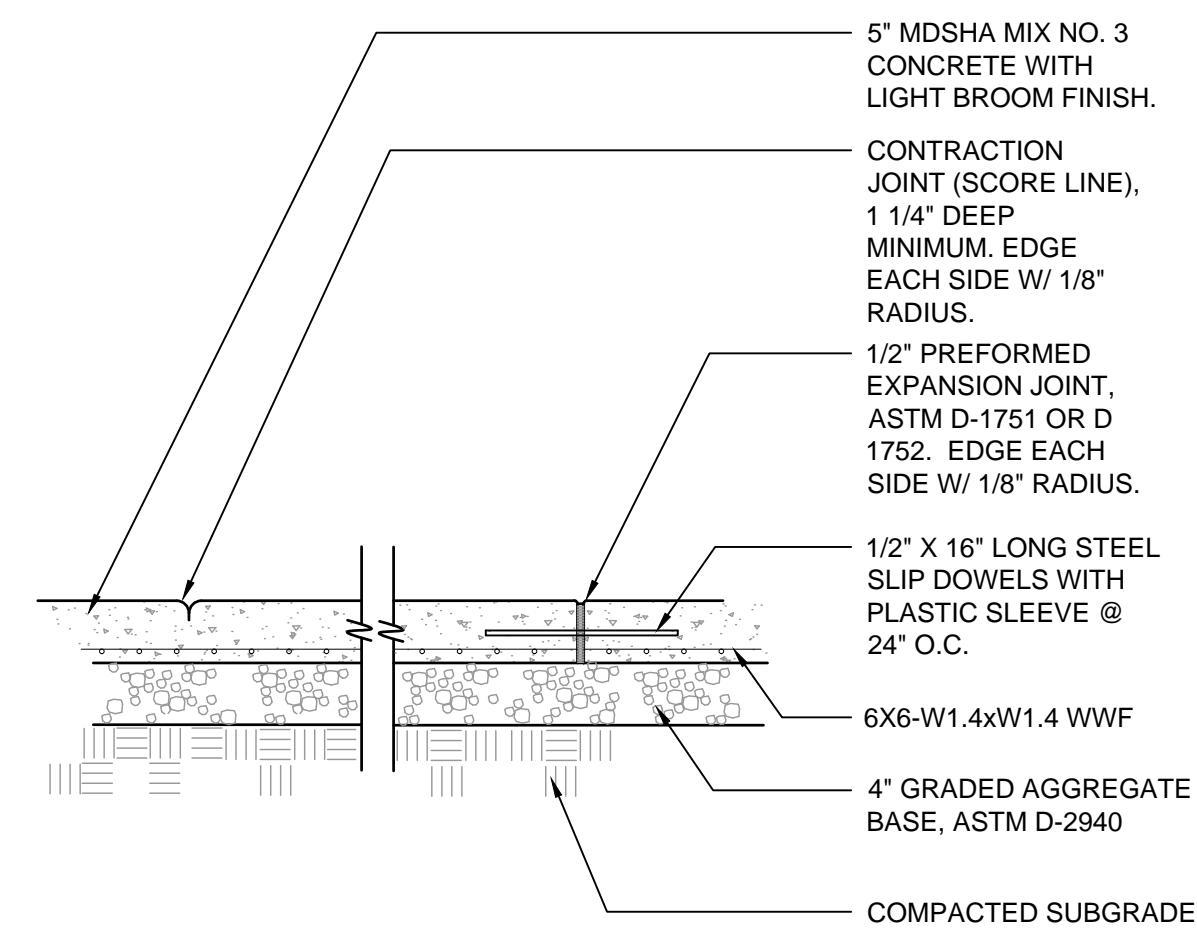
**1 CHAIN LINK FENCE**

NOT TO SCALE



**2 CHAIN LINK FENCE GATE DETAIL**

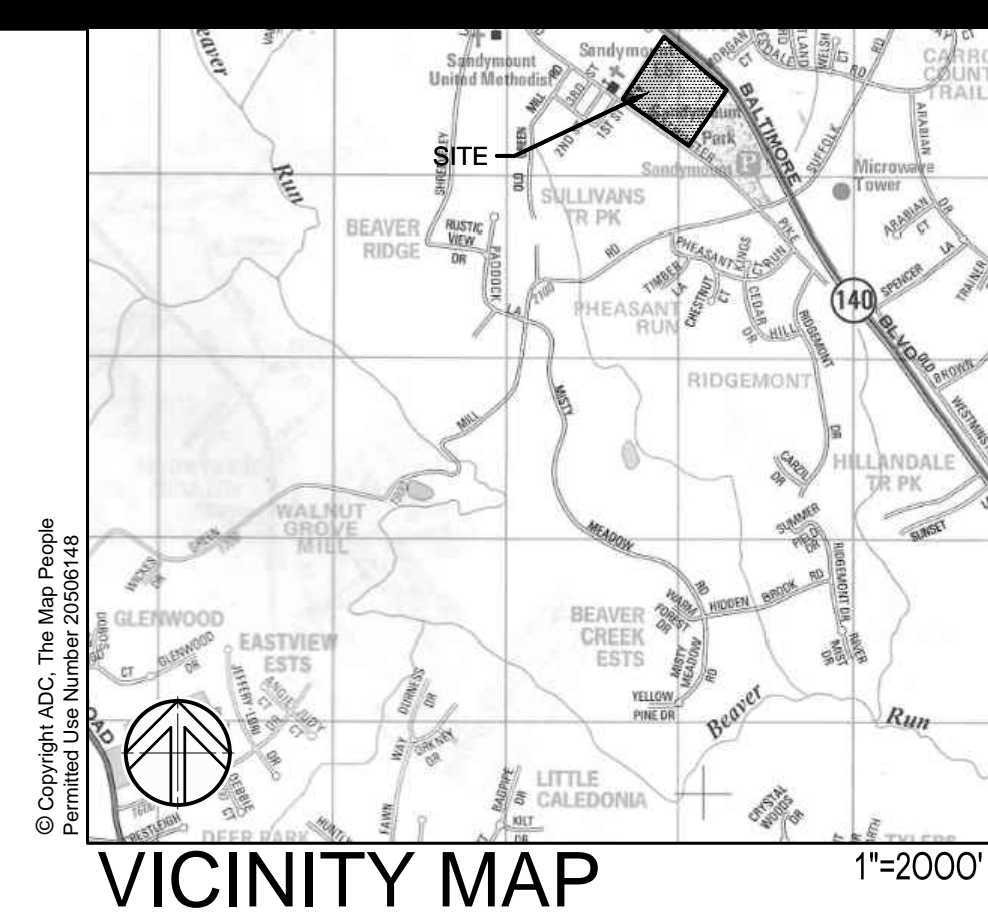
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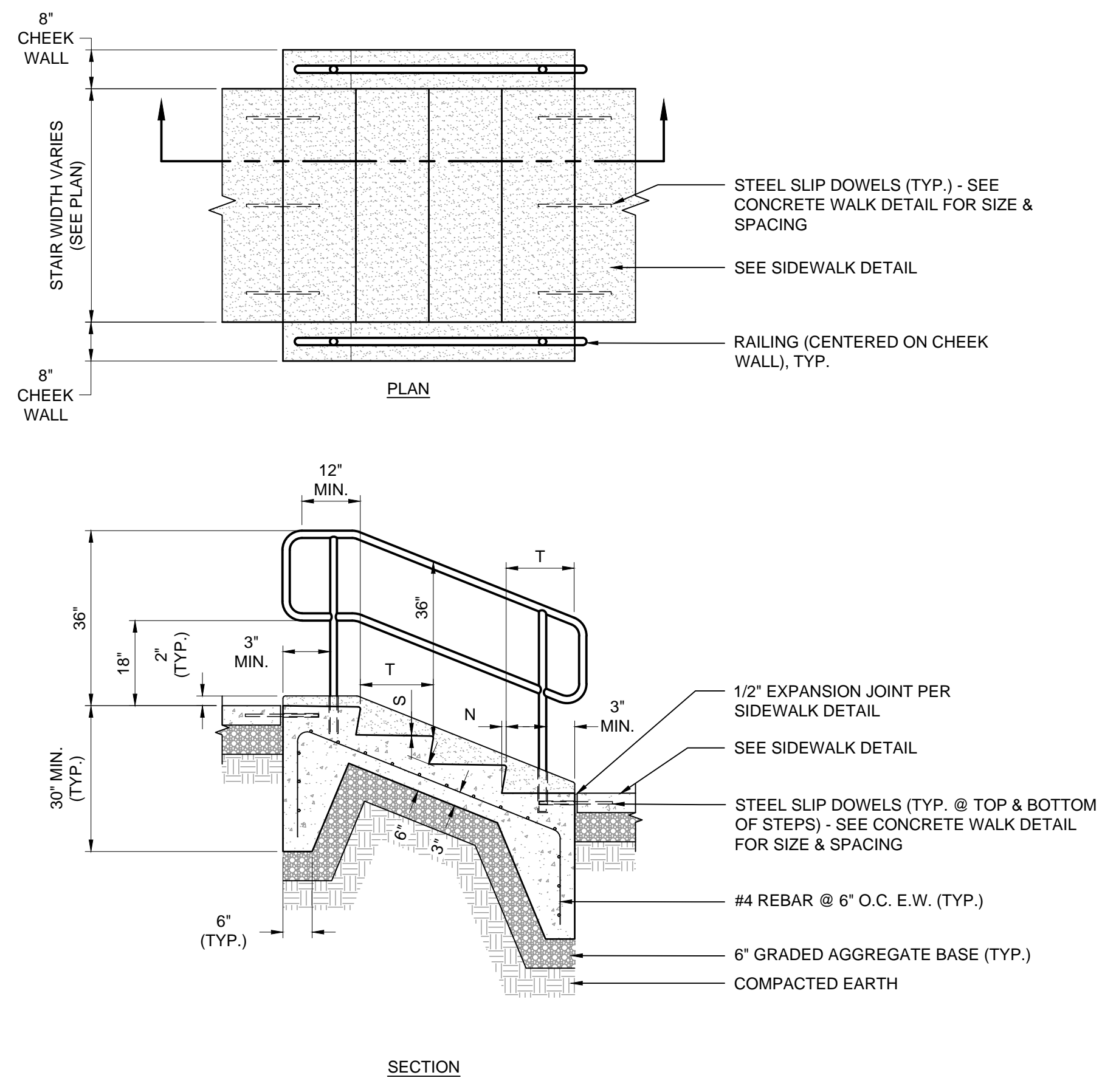
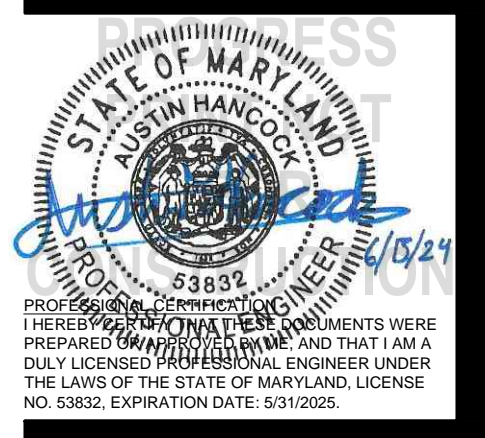
- NOTES**
- PLACE EXPANSION JOINTS NOT MORE THAN 20'-25' APART AND AT THE END OF EACH CONTIGUOUS POUR.
  - PLACE CONTRACTION JOINTS AT INTERVAL MATCHING WIDTH OF SIDEWALK BUT NOT MORE THAN 6' APART.
  - PROVIDE EXPANSION JOINTS WHERE POUR MEETS EXISTING CONCRETE PAVING OR CURB.
  - EXPANSION JOINTS TO BE RECESSED 1/4" BELOW SURFACE OF SIDEWALK.
  - WHEN SIDEWALK ABUTS BACK OF STREET CURB, WALK SHALL BE 1/4" ABOVE TOP OF CURB.
  - WHEN SIDEWALK ABUTS EXISTING CONCRETE WALK, CORE DRILL AND INSTALL DOWELS PER DETAIL.
  - MATCH SCORE PATTERN OF ADJACENT SIDEWALK WHERE PRACTICAL.
  - REFER TO MATERIALS PLAN FOR INTENDED SIDEWALK SCORING LAYOUT.

**3 CONCRETE SIDEWALK**

NOT TO SCALE



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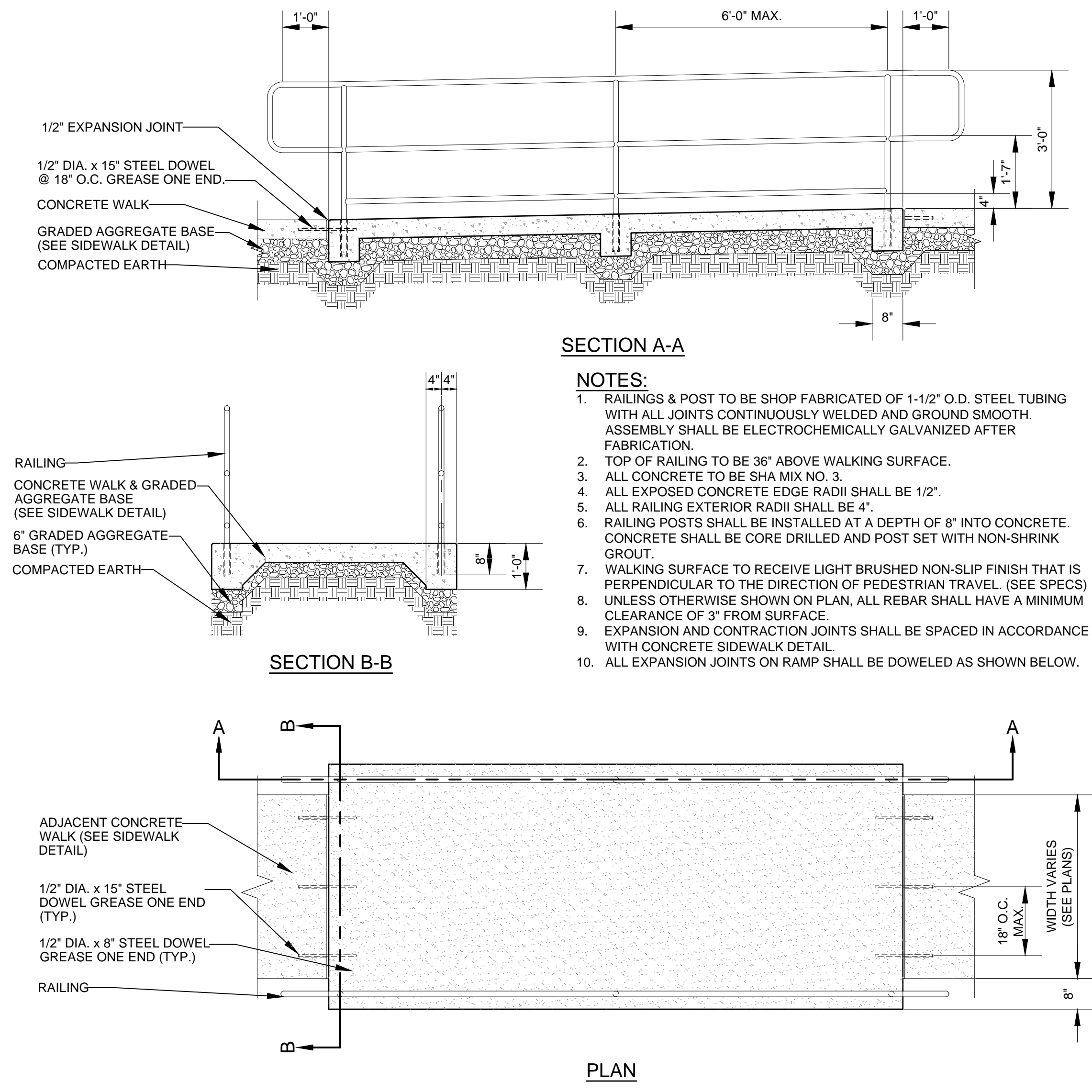
RISER (R)	TREAD (T)	SLOPE (S)	OVERHANG (N)
6	15	1/4	1

ALL DIMENSIONS IN INCHES

- NOTES:**
- RAILINGS & POST TO BE SHOP FABRICATED OF 1-1/2" O.D. STEEL TUBING WITH ALL JOINTS CONTINUOUSLY WELDED AND GROUND SMOOTH. ASSEMBLY SHALL BE ELECTROCHEMICALLY GALVANIZED AFTER FABRICATION.
  - TOP OF RAILING TO BE 36" ABOVE WALKING SURFACE AND STAIR NOSE.
  - STRAIGHT PORTION OF RAILING TO EXTEND A MINIMUM OF 12" HORIZONTALLY BEYOND NOSE OF TOP RISER AND A TREAD WIDTH BEYOND BOTTOM RISER BEFORE TURNING DOWN.
  - ALL CONCRETE TO BE MDSA MIX NO. 3.
  - ALL CHEEK WALL & STAIR NOSE RADII SHALL BE 1/2".
  - CHEEK WALL SHALL BE 2" ABOVE STAIR NOSE & WALKING SURFACE.
  - ALL RAILING EXTERIOR RADII SHALL BE 4".
  - RAILING POSTS SHALL BE INSTALLED AT A DEPTH OF 8" INTO CONCRETE. WHERE INTERMEDIATE POSTS ARE NECESSARY, INSTALL IN CENTER OF STAIR TREAD. CONCRETE SHALL BE CORE DRILLED AND POST SET WITH NON-SHRINK GROUT.
  - STAIR TREADS TO RECEIVE LIGHT BROOM FINISH. (SEE SPECS) UNLESS OTHERWISE SHOWN ON PLAN, ALL REBAR SHALL HAVE A CLEARANCE OF 3" FROM SURFACE.

**4 CONCRETE STAIRS**

NOT TO SCALE



**5 CONCRETE RAMP & RAILING**

NOT TO SCALE

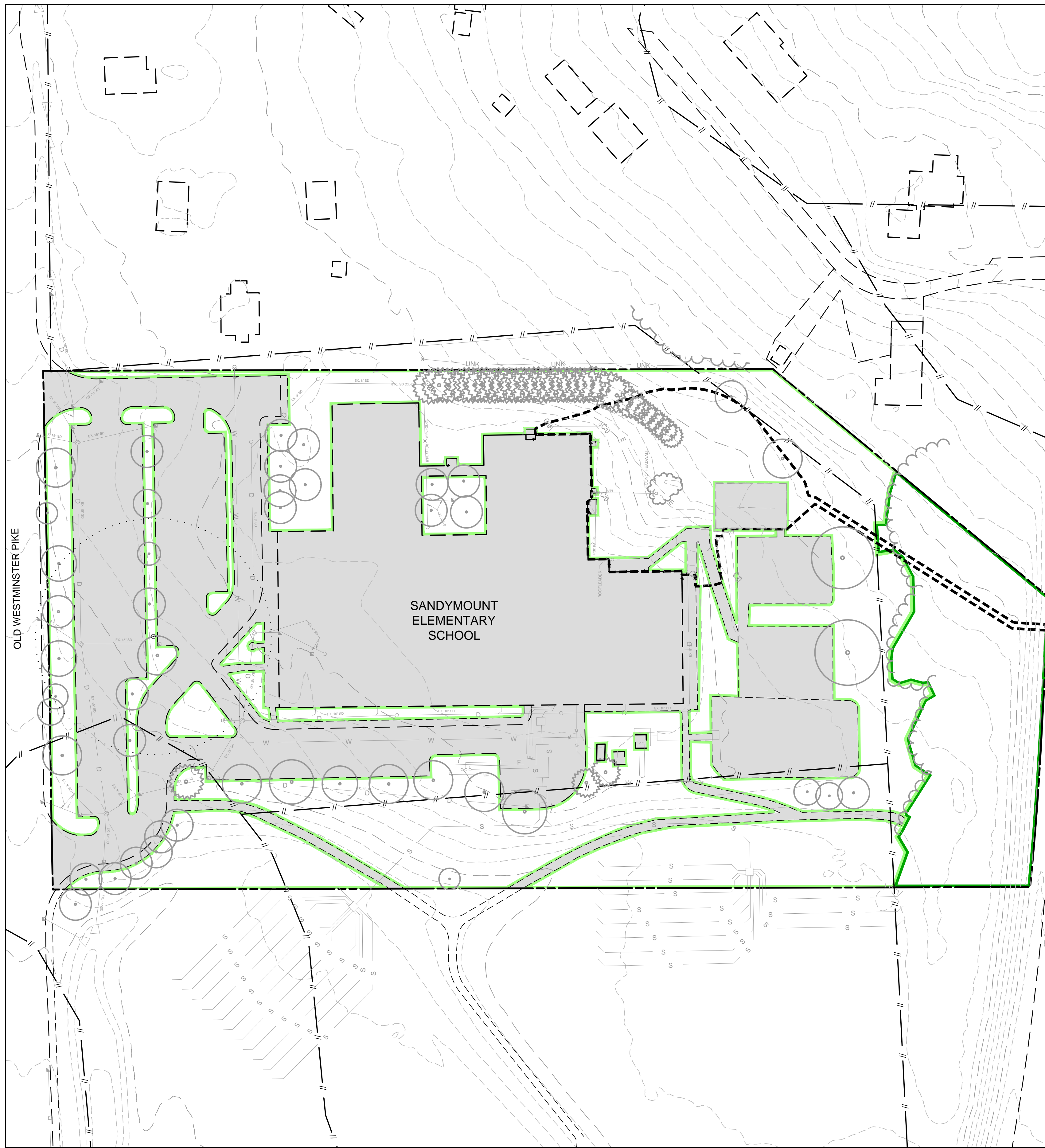
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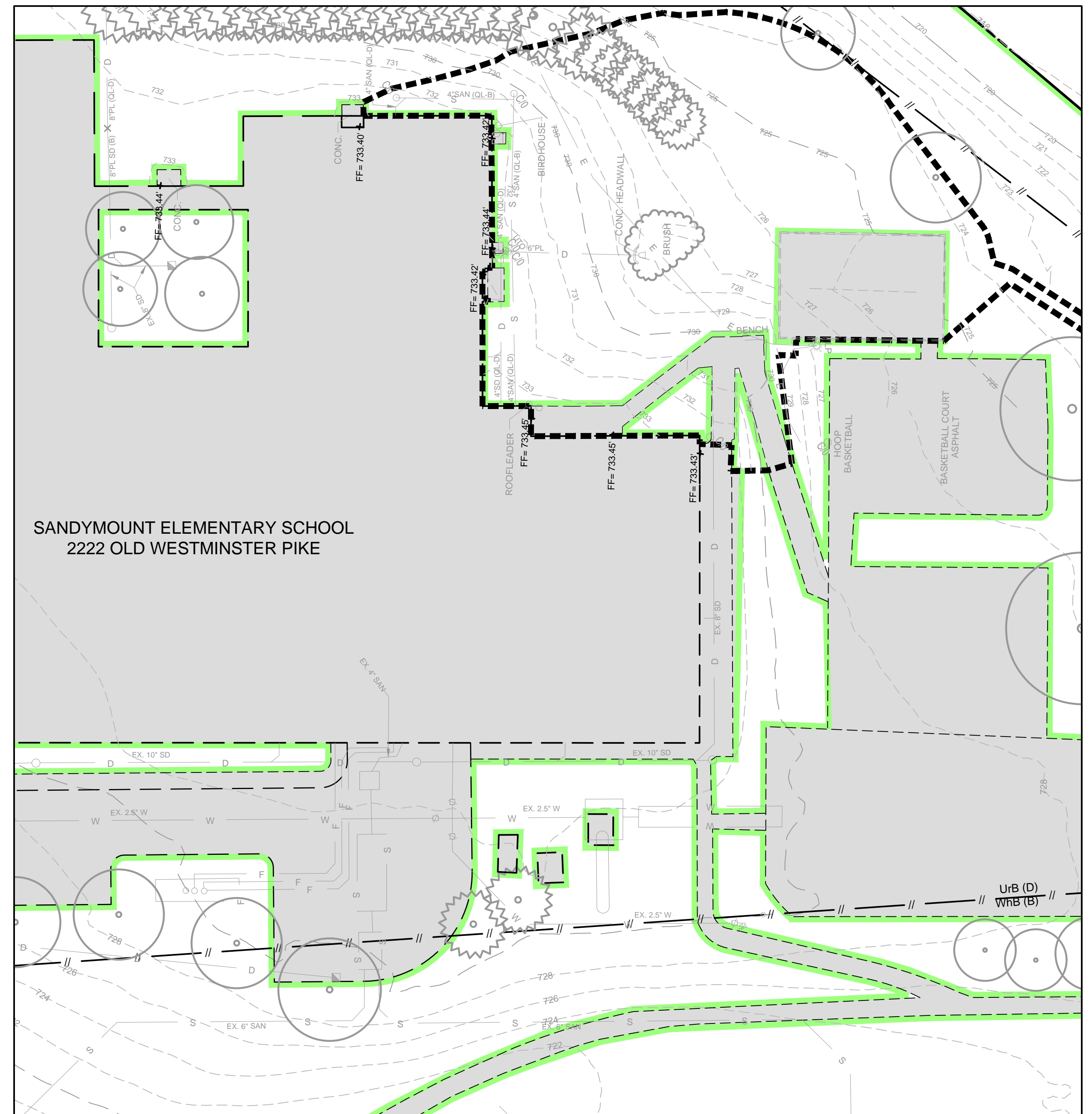
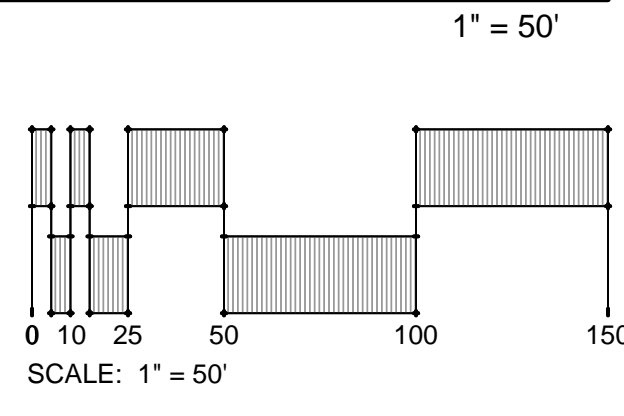
**SITE DETAILS**  
COUNTY FILE NUMBER: S-23-0032  
**C201**  
SHEET 7 OF 13

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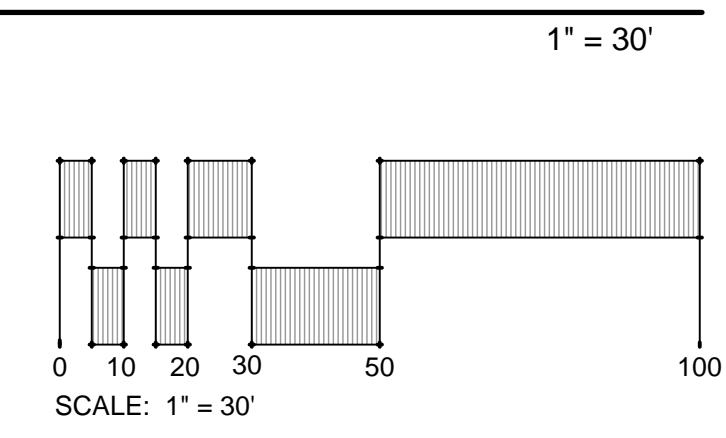




1 TOTAL PARCEL CONTEXT

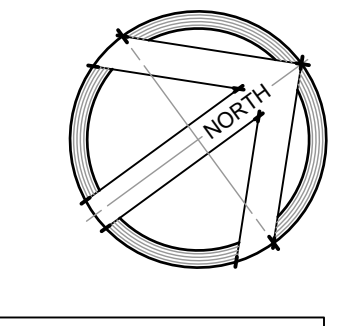


2 EXISTING CONDITIONS ENLARGEMENT



LEGEND

	PROPERTY LINE		EX. 2" GAS	EXISTING GAS
	EXISTING BUILDING		EX. FUEL OIL	EXISTING FUEL OIL
	EXISTING WALK		EX. TELE	EXISTING TELEPHONE
	EXISTING ROAD		EX. ELEC	EXISTING ELECTRIC
	EXISTING CURB		EX. ELEC OHW	EXISTING OVERHEAD ELECTRIC
	EXISTING FENCE			EXISTING LIGHTING
	EXISTING TREES			EXISTING CONTOURS
	EXISTING SHRUBS		EX. 15" SD	EXISTING SOIL GROUP DELINEATION
	EXISTING STORM DRAIN		EX. 6" W	ESD TRACT AREA
	EXISTING WATER		EX. 8" SAN	IMPERVIOUS AREA
	EXISTING SANITARY SEWER			MEADOW
				WOODS



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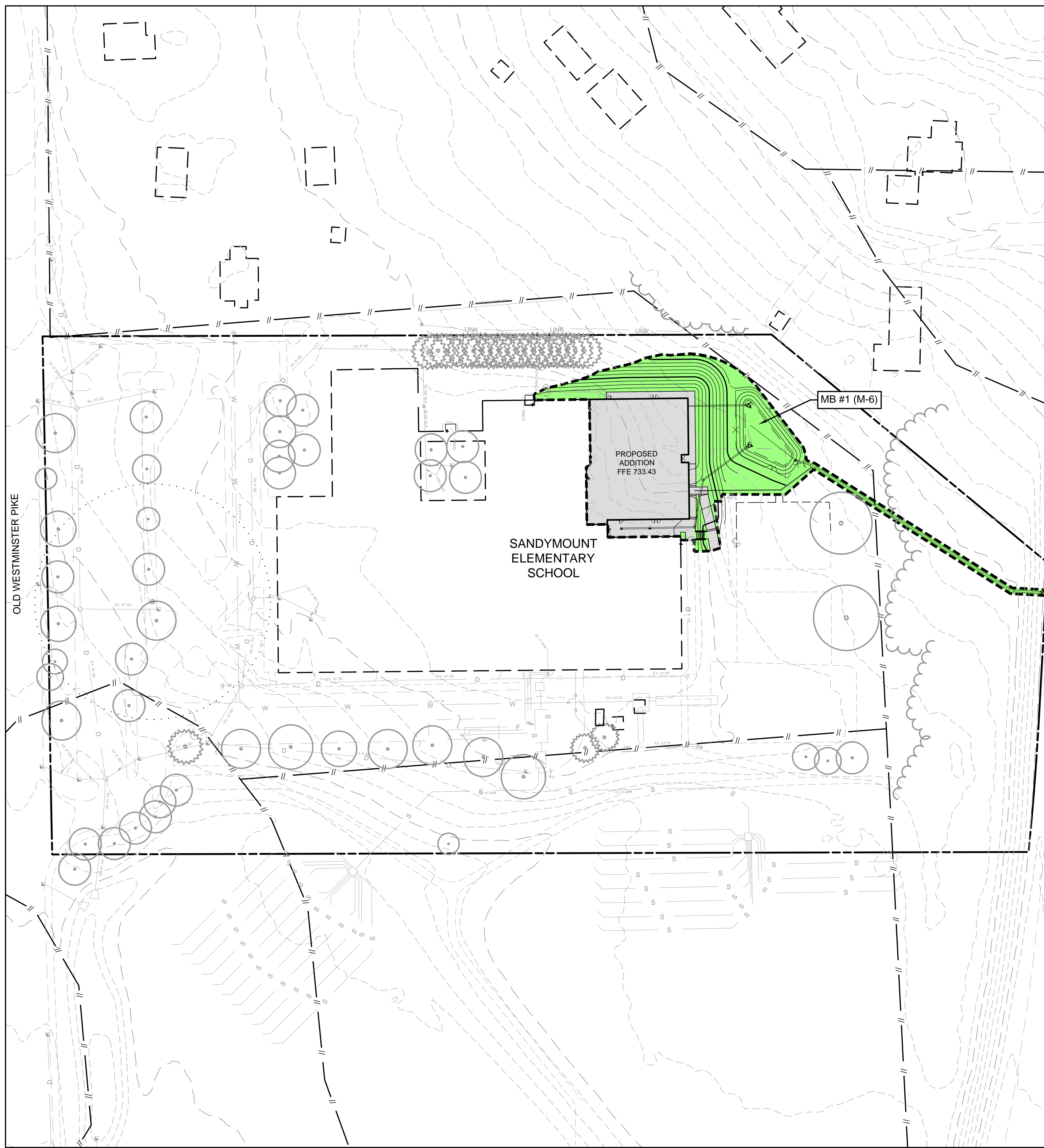


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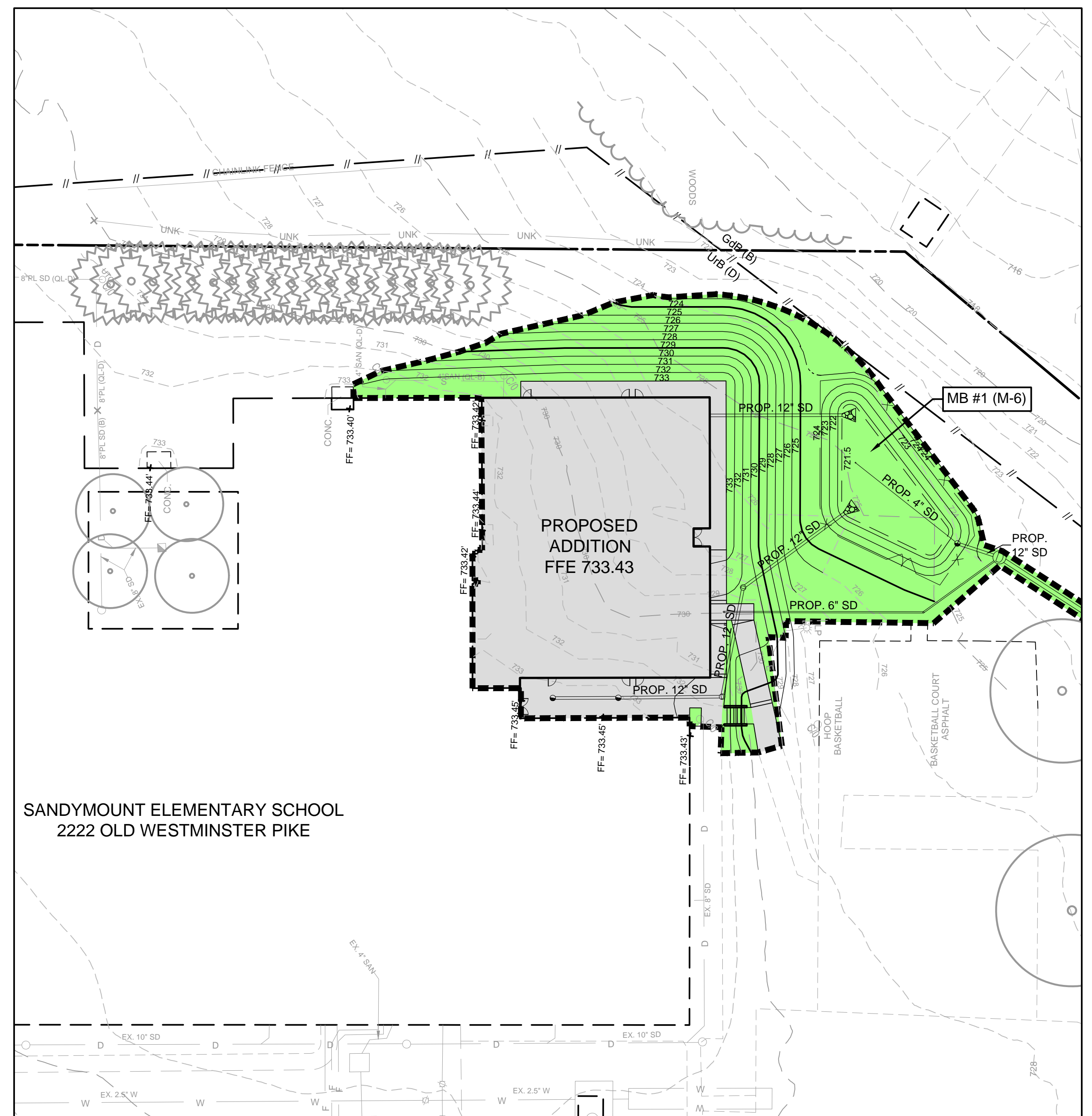
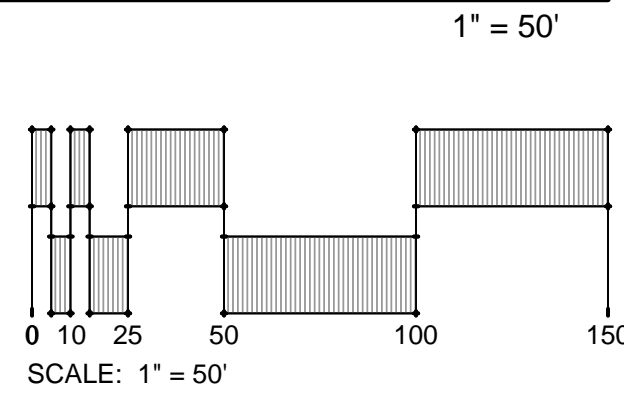
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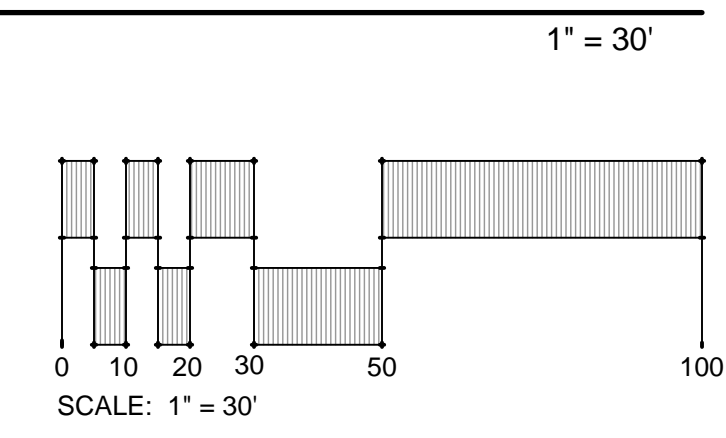
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**1** TOTAL PARCEL CONTEXT

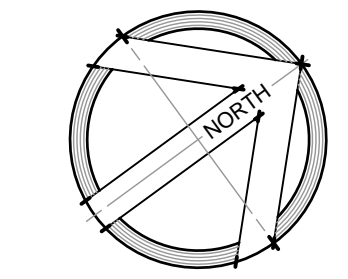


**2** PROPOSED CONDITIONS ENLARGEMENT



**LEGEND**

	PROPERTY LINE		EX. 8" SAN S	EXISTING SANITARY SEWER
	EXISTING BUILDING		EX. 2" GAS G	EXISTING GAS
	EXISTING WALK		EX. FUEL OIL F	EXISTING FUEL OIL
	EXISTING ROAD		EX. TELE T	EXISTING TELEPHONE
	EXISTING CURB		EX. ELEC E	EXISTING ELECTRIC
	EXISTING FENCE		EX. ELEC OHW	EXISTING OVERHEAD ELECTRIC
	EXISTING TREES			EXISTING LIGHTING
	EXISTING SHRUBS			EXISTING CONTOURS
	EX. 15" SD D			EXISTING SOIL GROUP DELINEATION
	EX. 6" W W			ESD TRACT AREA
	PROP. 15" SD D			IMPERVIOUS AREA
	PROP. FENCE X			GRASS
				PROPOSED CONTOURS



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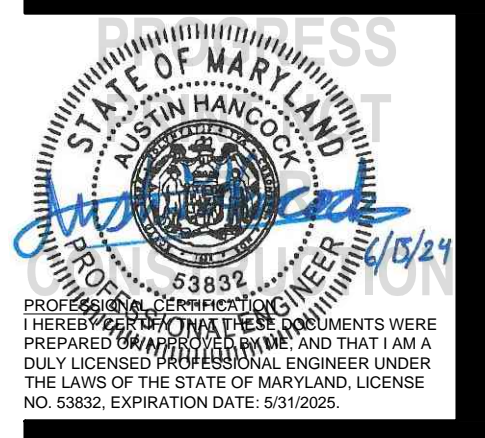
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**PROPOSED CONDITIONS SWM PLAN**

**C511**  
SHEET 9 OF 13





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REVISIONS	DATE	DESCRIPTION

**LEGEND**

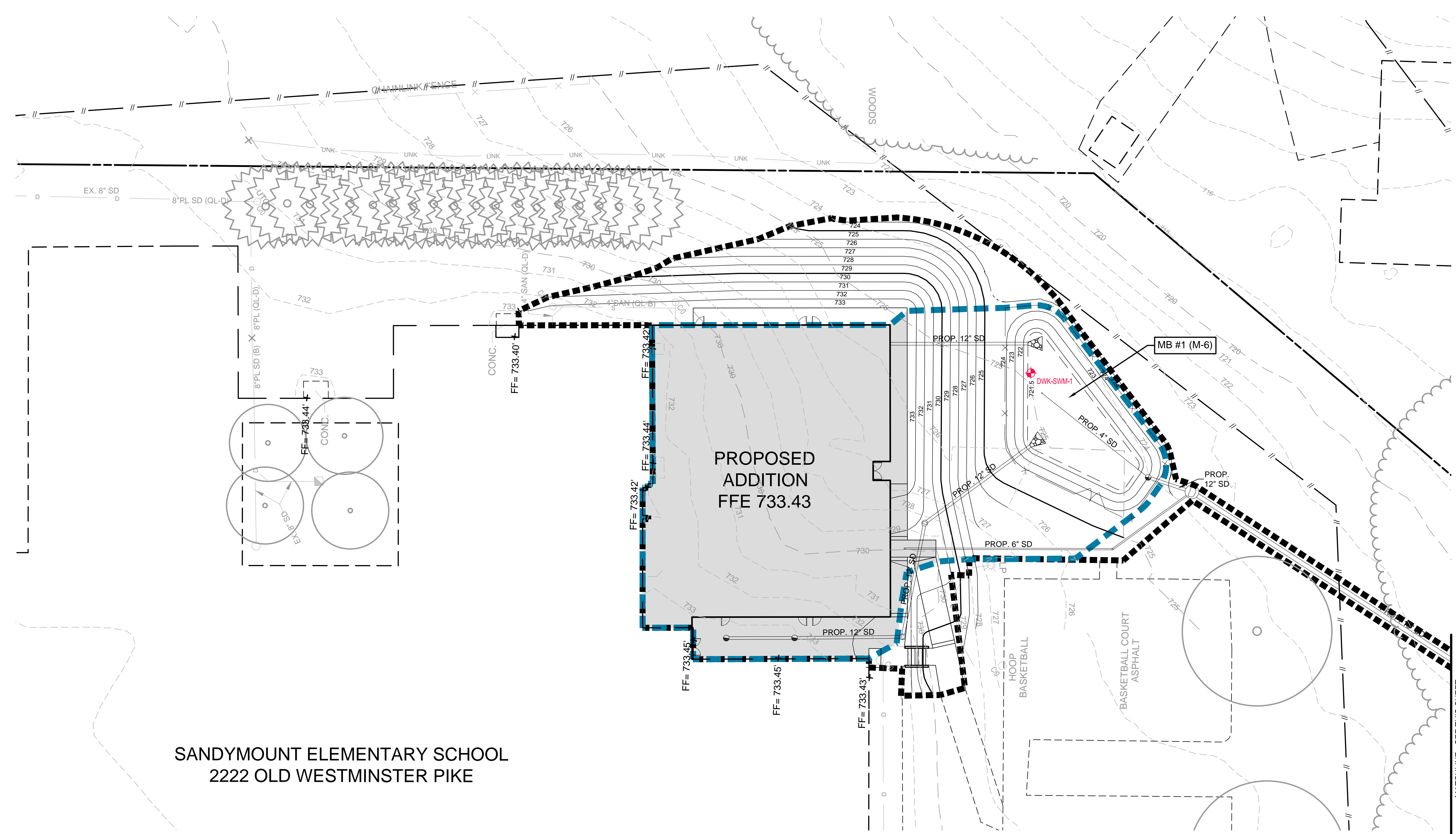
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- EXISTING STORM DRAIN
- EXISTING WATER
- EXISTING SANITARY SEWER
- EXISTING GAS
- EXISTING FUEL OIL
- EXISTING TELEPHONE
- EXISTING ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING LIGHTING
- EXISTING CONTOURS
- EXISTING SOIL GROUP DELINEATION
- PROPOSED BUILDING
- PROPOSED BUILDING OVERHANG
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED FENCE
- PROPOSED STORM DRAIN
- PROPOSED WATER
- PROPOSED CONTOURS
- ESD TRACT AREA
- IMPERVIOUS AREA
- DRAINAGE AREA

**SWM AS-BUILT NOTES**

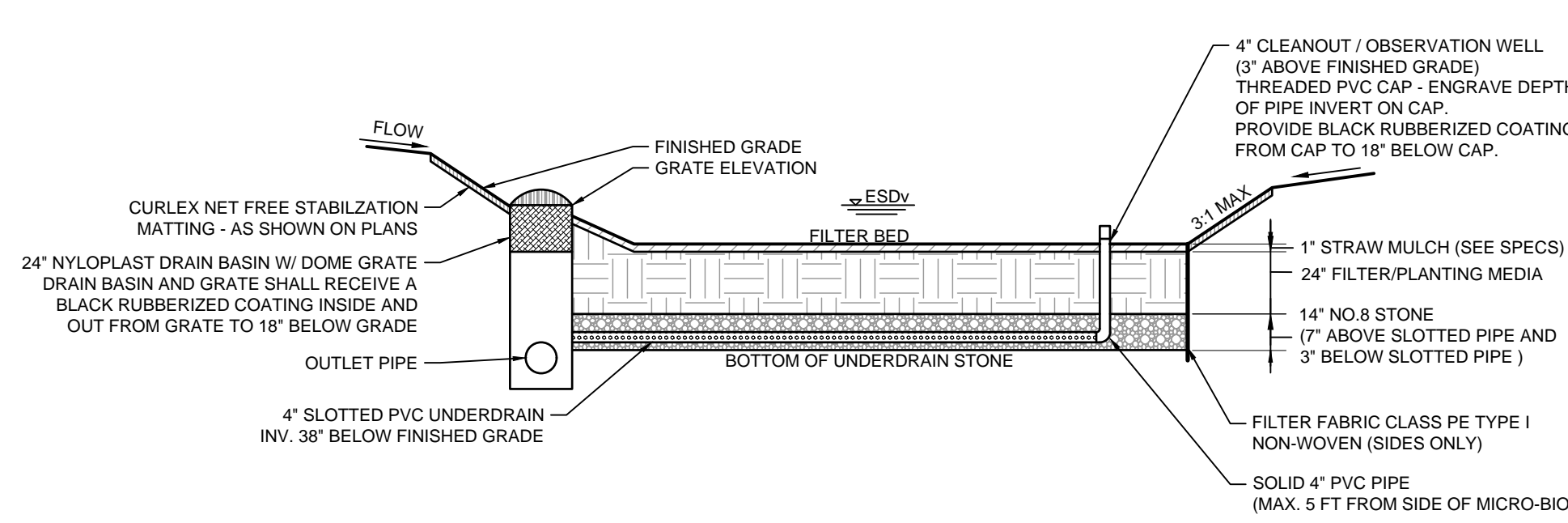
- IT IS THE CONTRACTOR'S RESPONSIBILITY, ON BEHALF OF THE OWNER, TO ENGAGE A LICENSED PROFESSIONAL ENGINEER TO CERTIFY THE STORMWATER MANAGEMENT FACILITIES AND TO PREPARE, SUBMIT, AND PROCESS AS-BUILT DRAWINGS WITH THE AUTHORITIES HAVING JURISDICTION. "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ONSITE OBSERVATIONS AND/OR INSPECTIONS AT CRUCIAL MILESTONES DURING CONSTRUCTION OF THE FACILITY, MATERIAL TESTS CONDUCTED DURING CONSTRUCTION, AND POST-CONSTRUCTION SURVEYING AND VERIFICATION. VERIFICATION SHALL INCLUDE PHOTODOCUMENTATION CONSISTING OF AT LEAST TEN (10) PHOTOS AT EACH STAGE OF CONSTRUCTION PROGRESS.
- CRUCIAL MILESTONES INCLUDE, AT A MINIMUM, REGULAR INSPECTIONS MADE AND DOCUMENTED DURING AND AT COMPLETION OF THE FOLLOWING STAGES OF CONSTRUCTION:
  - EXCAVATION TO SUBGRADE
  - INSTALLATION OF GEOTEXTILE FABRIC
  - INSTALLATION OF UNDERDRAIN SYSTEM WITH DRAINAGE STRUCTURE AND OUTFALL PIPE
  - INSTALLATION ON WETLAND SOIL, PEA GRAVEL AND GRAVEL MEDIA.
  - UPON COMPLETION OF FINAL GRADING, MULCH INSTALLATION, AND ESTABLISHMENT OF PERMANENT STABILIZATION
- THE FOLLOWING INFORMATION SHALL BE INCLUDED IN THE SWM AS-BUILT DOCUMENTATION:
  - COMPLY WITH INSPECTION REQUIREMENTS DURING CONSTRUCTION FOR AS-BUILT CERTIFICATION AS DESCRIBED IN THE MDE STORMWATER MANUAL AND AMENDED TO DATE.
  - NOTE CHANGES AND DEVIATIONS FROM THE ORIGINAL APPROVED SWM PLANS BY MARKING IN RED OR GREEN ON TOP OF THE ASSOCIATED APPROVED ITEM.
  - NOTE CONSTRUCTED DATA FOR GRADING CONTOURS, SPOT ELEVATIONS, HORIZONTAL AND VERTICAL DIMENSIONS, INVERTS, PLAN VIEWS, CROSS-SECTIONS, AND DETAILS.
  - IF CONSTRUCTED VALUES ARE THE SAME AS DESIGN VALUES, PLACE A CHECK MARK NEXT TO THE ASSOCIATED DATA TO INDICATE THE VALUE HAS BEEN VERIFIED.
  - COMPLETE AS-BUILT TABLES INCLUDED ON DRAWINGS AND SIGN AND SEAL CERTIFICATIONS.
- SUBMIT SWM AS-BUILTS TO THE AUTHORITIES HAVING JURISDICTION AND PROCESS FOR FINAL APPROVAL AND CLOSEOUT OF ASSOCIATED PERMIT(S).

PROVIDE ADDITIONAL DOCUMENTS SUCH AS PROGRESS AND FINAL PHOTOGRAPHS, INSPECTION REPORTS AND OTHER RELEVANT INFORMATION IN SUPPORT OF THE AS-BUILT DRAWINGS AND DATA TABLES.

COUNTY FILE NUMBER: S-23-0032



**SANDYMOUNT ELEMENTARY SCHOOL**  
 2222 OLD WESTMINSTER PIKE



- NOTES:**
- 3:1 MAX SLOPE ON ALL SIDES. SEE GRADING PLAN AND STORMWATER MANAGEMENT ENLARGEMENTS FOR GRADING OF MICRO-BIORETENTIONS.

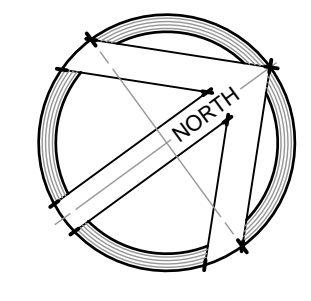
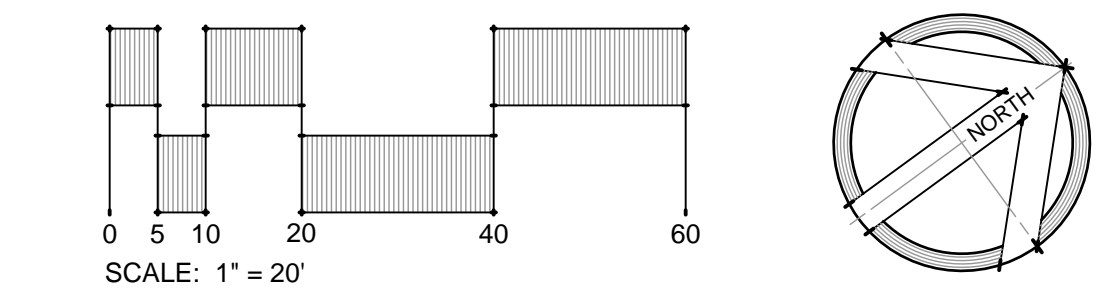
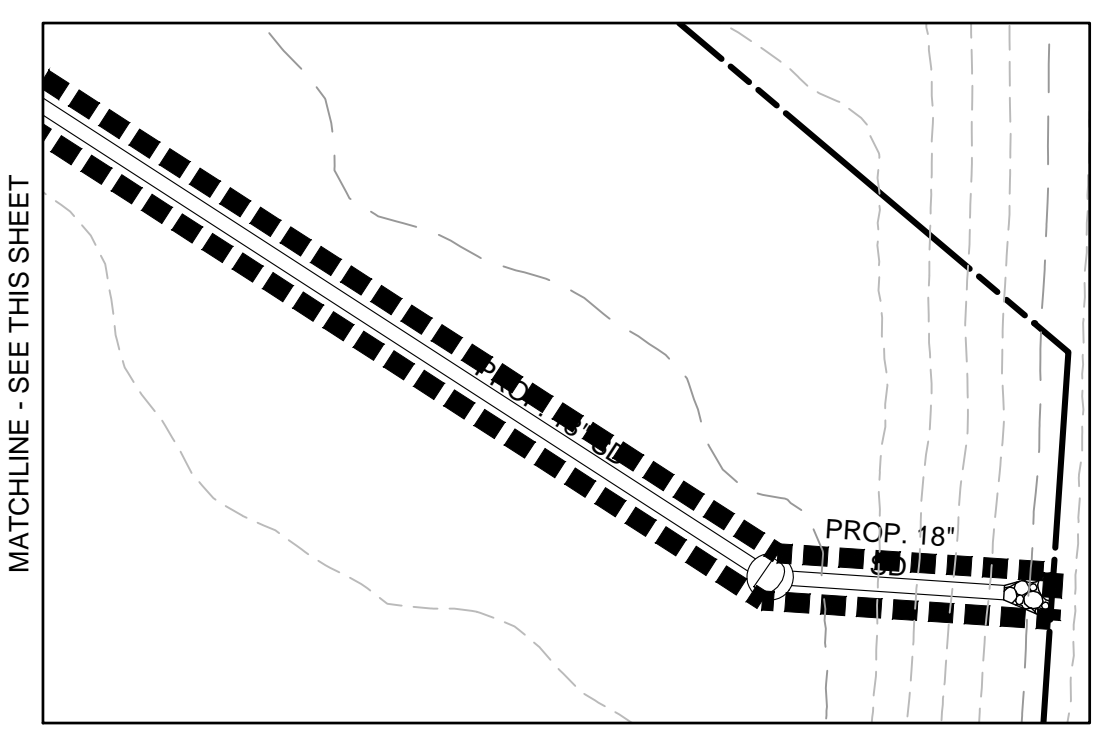
**TYPICAL SECTION: MICRO-BIORETENTION**  
 NOT TO SCALE

**DESIGN SUMMARY TABLE**

ESD TRACT AREA	0.56 AC
PROPOSED IMPERVIOUS AREA WITHIN ESD TRACT AREA	0.26 AC
ESDV / PE REQUIRED	1,409 CUFT / 1.46"
ESDV / PE PROVIDED	1,480 CUFT / 1.54"

**DRAINAGE AREA DATA**

DRAINAGE AREA	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	ESDV PROVIDED (CUFT)	TC (HOURS)
1 (MB #1)	0.39	0.24	1,480	0.1





Carroll County Supplemental Materials Specifications for Bio-Swale, Bioretention, Micro-Bioretention & Rain Gardens			
Material	Specification	Size	Notes
Plantings	See Landscape Plan	N/A	Plantings are site specific and per approved landscape plan
Seed Mix	Filter Bed Mix – Use Wet Meadow Mix per MD Standards and Specifications §707. See Table 3 (1 lb. minimum/micro-bioretention)	N/A	Used with straw mulch in place of shredded hardwood mulch. Incorporate seed evenly in top 1/2" of filter media
Mulch	Shredded Hardwood	N/A	Aged 6 months, minimum
Straw Mulch	MD Standards and Specifications §920.04.01, (200 lb. minimum/micro-bioretention)	N/A	1" Straw mulch over seed bed (facility bottom)
Geotextile	Class "C" – Apparent opening size (ASTM-D-4751), Grab Tensile Strength (ASTM-D-4632), Puncture Resistance (ASTM-D-4833)	N/A	Sides only Not on bottom unless specified on the plans
Underdrain and Reservoir Gravel	AASHTO M-43 No. 8 Stone	3/4" – 1 1/4"	Stone must be clean and washed
Underdrain and Observation Well Piping	Slotted PVC or Slotted HDPE Type "SP" Pipes Solid: Scheduled 40 PVC or HDPE Type "S"	See Plan	Refer to the Carroll County SWM Supplement Pg. 87 All pipes must be double walled (smooth core) and slotted (no circular holes) Sand substitutions such as Diabase and Graystone #10 are not acceptable.
Sand	ASTM-C-33 (3 parts to 6 within Filter Media)	0.02" – 0.04"	No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock-dust" can be used for sand. Manufactured sand from approved sources may be used for filters. Manufactured sand may not be used in dams.
Soil	Engineer approved loam with 20% or less clay. (1 part to 6 within Filter Media)	N/A	
Wood Chips	Untreated "Green" (2 parts to 6 within Filter Media)	N/A	Untreated "green" wood chips
Filter/Planting Media	Comprised of 3 parts sand, 2 parts wood chips, 1 part soil	N/A	See individual material specifications
Embankments & Trench Backfill (non-378)	Soils used for embankments and trench backfill shall be uniform and in accordance with MD 378 Code, except that fill material shall conform to Unified Soil Classification, GC, SC, SM, MH, ML, CH, or CL and be compacted to a density of not less than 95% of maximum dry density. Woody vegetation is prohibited on embankments.	N/A	See Earth Fill and Structure Backfill, Carroll County Construction Specifications Carroll County SWM Supplement, Page 130
Principal Spillway Pipe (non-378)	Shall be in accordance with MD 378 Code, except that all pipe joints are to be gasketed and completely watertight. Pipes connected to risers (inlets) shall be a single piece 20-feet long with no joints.	See Plan	See Pipe Conduits, Carroll County Construction Specifications Carroll County SWM Supplement, Page 131

R:\Forms\SWM Forms\Updated Forms\Carroll County Supplemental Materials Specifications For Bio-Swale, Bioretention, Micro-Bioretention and Rain Gardens Revised 11.20.23.docx

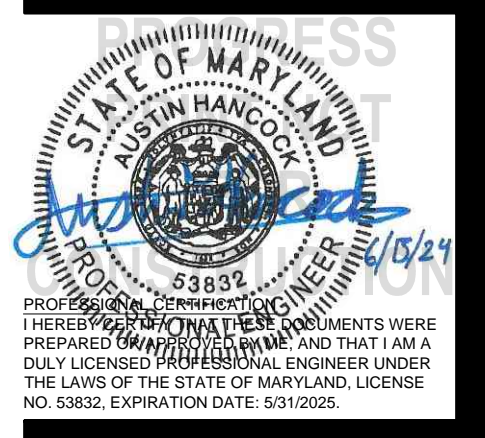
Chad N. Wasleski, PE, CFM  
Carroll County Stormwater Management Program Engineer  
March 20, 2020; Dec. 20, 2022; Jan. 6, 2023; Revised July 25, 2023; Revised Nov. 20, 2023

STORMWATER MAINTENANCE SCHEDULE  
MICRO-BIORETENTION  
Modified to Correspond to Carroll County Details

MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unplug all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan <b>OR</b> Reseed and Remulch per Filter Bed Mix.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlet and outlet.	Remove or cut back vegetation around inlet and outlet structures. Mow side slopes and embankment when grass exceeds 12 inches in height, but do not mow filter bed (Woody vegetation is prohibited on the embankment). If using Filter Bed Mix, may mow bed twice per year. Remove grass clippings. Reseed or re-plant in accordance with approved landscaping plans.
Mulch Layer	Check mulch for adequate cover, sediment accumulation, or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved design.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Check ponding level. Surface storage must dewater within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. If the facility does not function as intended after the above action, excavate, remove, clean, and replace stone, underdrain, media, and plants in accordance with approved plans.
Erosion	Check inlets, filter bed, outlets, and side slopes for erosion, rills, gullies, and runoff channelization.	Re-grading may be required when concentrated flow causes rills or gully through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on filter bed. Check for clogged openings (blockages).	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riprap outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.

#N/A

Modifications By: Martin B Covington, III, P.E.  
Carroll County Stormwater Management Program Engineer  
August 2021  
Revised December 20, 2022



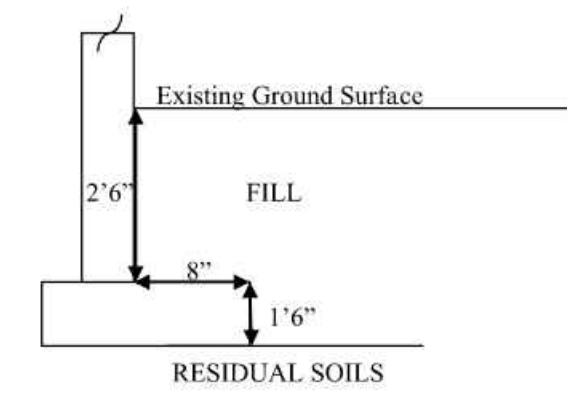
PROJECT NO. 631390	DATE:
REVISIONS	
DATE	DESCRIPTION



### TEST PIT LOG

Contract No.: 23209.3D Date: December 26, 2023  
 Project: Sandymount CCEs DWK Representative: N. Honegger  
 Location: Finksburg, Maryland  
 Test Pit No.: DWK-TP-1 Groundwater EL: Dry  
 Surface Elevation: 734.0 Excavation Equipment: Mini Excavator

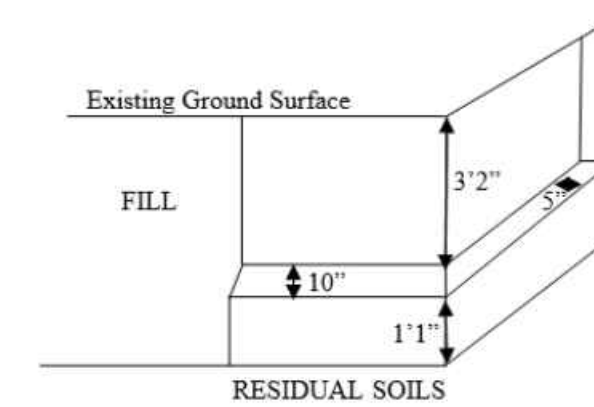
DEPTH (FT.)	ELEV.	SOIL DESCRIPTION AND OBSERVATIONS	STRATUM	REMARKS
0	734.0	Topsoil 6"		
0.5	733.5	FILL, sandy lean clay, moist, reddish brown	A	FILL
1.0	733.0			
1.5	732.5			
2.0	732.0			
2.5	731.5			
3.0	731.0			
3.5	730.5	Top of Footing @ 2' 6"		
4.0	730.0	Bottom of Footing @ 4'		
4.5	729.5	SILTY SAND, moist, yellowish brown	B	Residual
		Bottom of Test Pit @ 4.5 feet		



### TEST PIT LOG

Contract No.: 23209.3D Date: December 26, 2023  
 Project: Sandymount CCEs DWK Representative: N. Honegger  
 Location: Finksburg, Maryland  
 Test Pit No.: DWK-TP-3 Groundwater EL: Dry  
 Surface Elevation: 734.0 Excavation Equipment: Mini Excavator

DEPTH (FT.)	ELEV.	SOIL DESCRIPTION AND OBSERVATIONS	STRATUM	REMARKS
0	734.0	Topsoil 6"		
0.5	733.5	FILL, sandy lean clay, with rock fragments, moist, reddish brown	A	FILL
1.0	733.0			
1.5	732.5			
2.0	732.0	SILTY SAND, moist, brown		
2.5	731.5	Top of Footing @ 3'2"		
3.0	731.0			
3.5	730.5			
4.0	730.0			
		Bottom of Footing @ 4'3"		
4.5	729.5	SILTY SAND, moist, yellowish brown	B	Residual
		Bottom of Test Pit @ 4.5 feet		



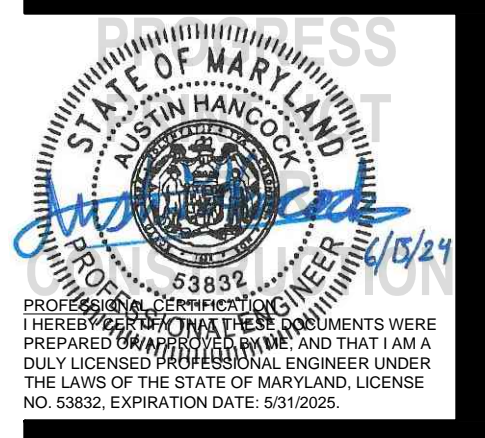
### TEST PIT LOG

Contract No.: 23209.3D Date: December 26, 2023  
 Project: Sandymount CCEs DWK Representative: N. Honegger  
 Location: Finksburg, Maryland  
 Test Pit No.: DWK-SWM-1 Groundwater EL: Dry  
 Surface Elevation: 726.0 Excavation Equipment: Mini Excavator

DEPTH (FT.)	ELEV.	SOIL DESCRIPTION AND OBSERVATIONS	STRATUM	REMARKS
0	726.0	Topsoil 4"		
0.5	725.5	FILL, sandy silt, with roots, sub-angular blocky, moist, orangish brown	A	FILL
1.0	725.0			
1.5	724.5	SANDY LEAN CLAY, with rock fragments, sub-angular, blocky, moist, brown	B	Residual
2.0	724.0			
2.5	723.5	SANDY SILT, with mica and rock fragments, sub-angular, plate-like, moist, red/brown		
3.0	723.0			
3.5	722.5			
4.0	722.0	SANDY SILT, angular, blocky, moist, yellowish brown		
4.5	721.5			
5.0	721.0	Infiltration Test Depth		
5.5	720.5			
6.0	720.0			
6.5	719.5			
7.0	719.0			
7.5	718.5			

8.0	718.0			
8.5	717.5			
9.0	717.0			
9.5	716.5			
10.0	716.0			

Bottom of Test Pit @ 10.0 feet



**SANDYMOUNT ELEMENTARY SCHOOL PRE-K & KINDERGARTEN ADDITIONS**

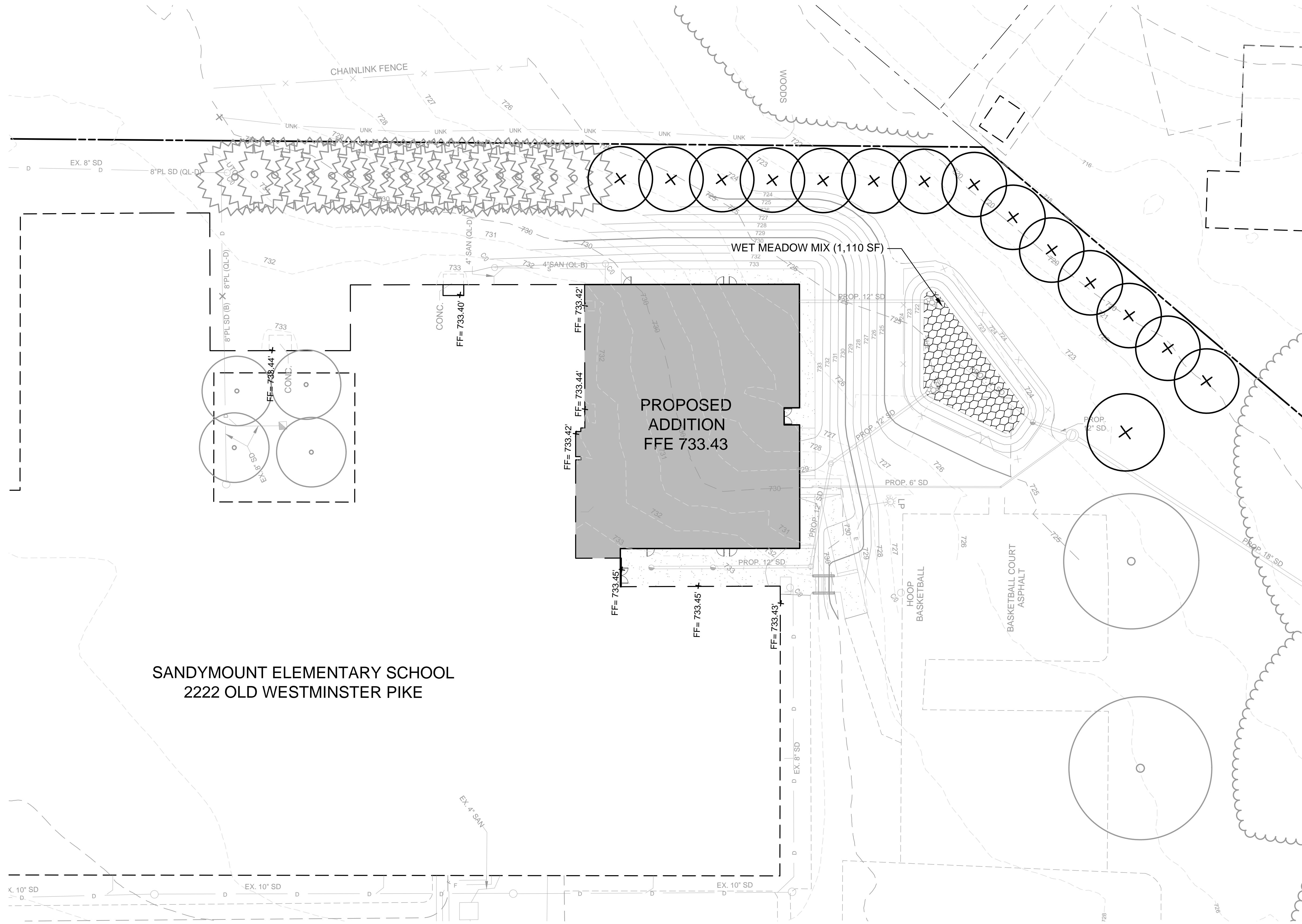
**CARROLL COUNTY PUBLIC SCHOOLS**  
 1110 GIST ROAD, WESTMINSTER, MD 21157

PROJECT NO.:	631390
DATE:	
REVISIONS	
DATE	DESCRIPTION

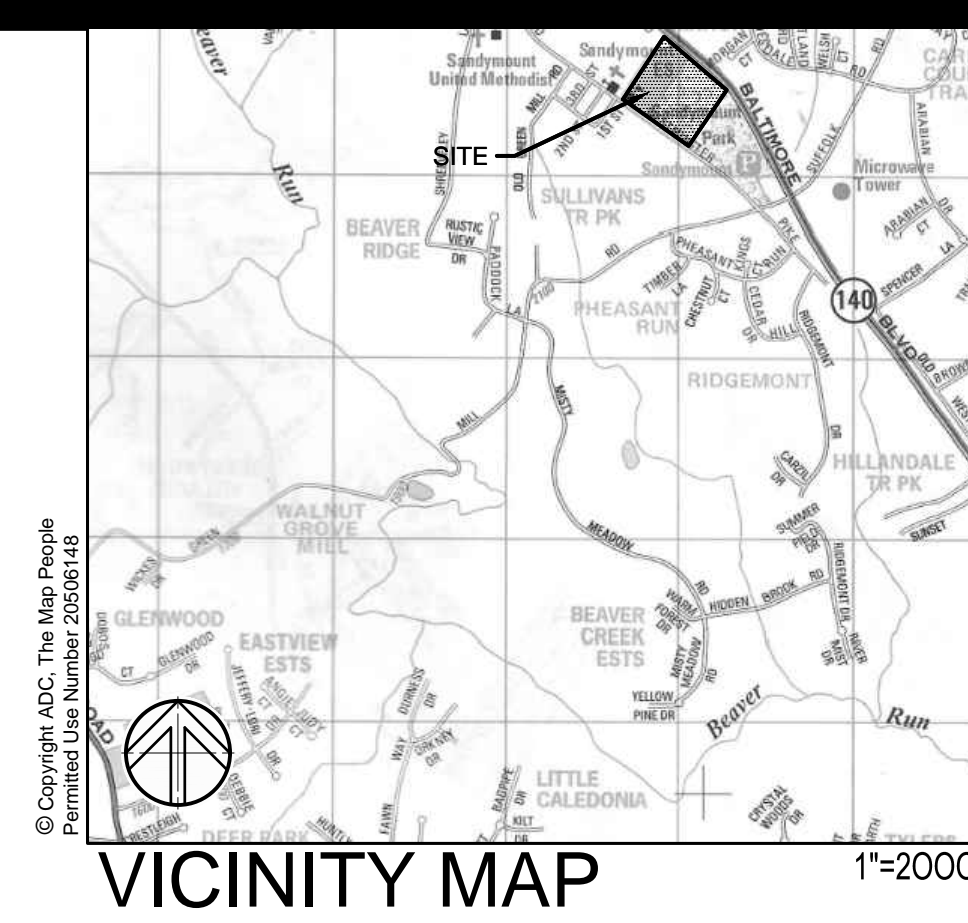
SWM TEST PITS

COUNTY FILE NUMBER:  
S-23-0032





SANDYMOUNT ELEMENTARY SCHOOL  
2222 OLD WESTMINSTER PIKE

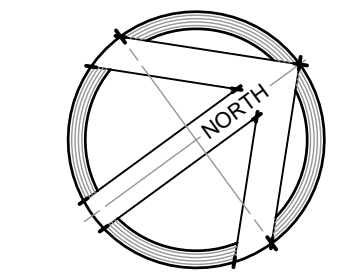
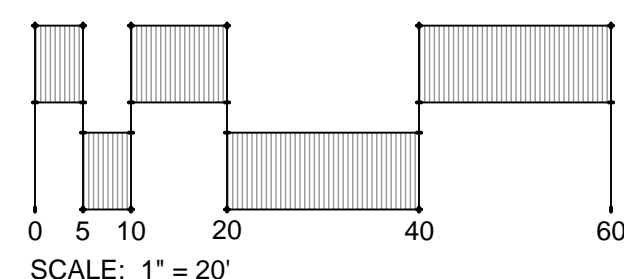


**LEGEND**

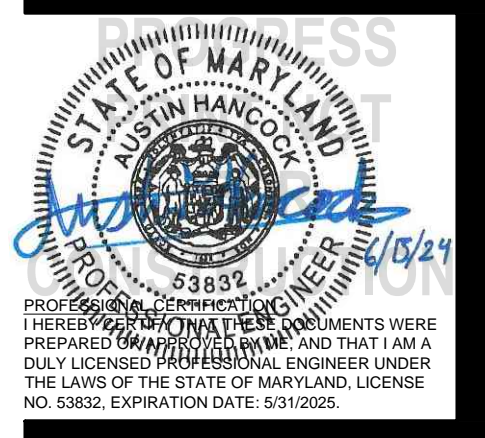
	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING TREES
	EXISTING SHRUBS
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING FUEL OIL
	EXISTING TELEPHONE
	EXISTING ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING LIGHTING
	EXISTING CONTOURS
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED FENCE
	PROPOSED STORM DRAIN
	PROPOSED CONTOURS
	PROPOSED SHADE TREE
	PROPOSED SEEDING

**CONCEPT PLANT SCHEDULE**

CODE	NAME	QTY
TREES	SHADE TREE	15
PERENNIALS, GRASSES, & GROUNDCOVERS	WMM	1,080 SF



COUNTY FILE NUMBER:  
S-23-0032



PROJECT NO.: 631390  
DATE:

REVISIONS	DESCRIPTION
DATE	DESCRIPTION