

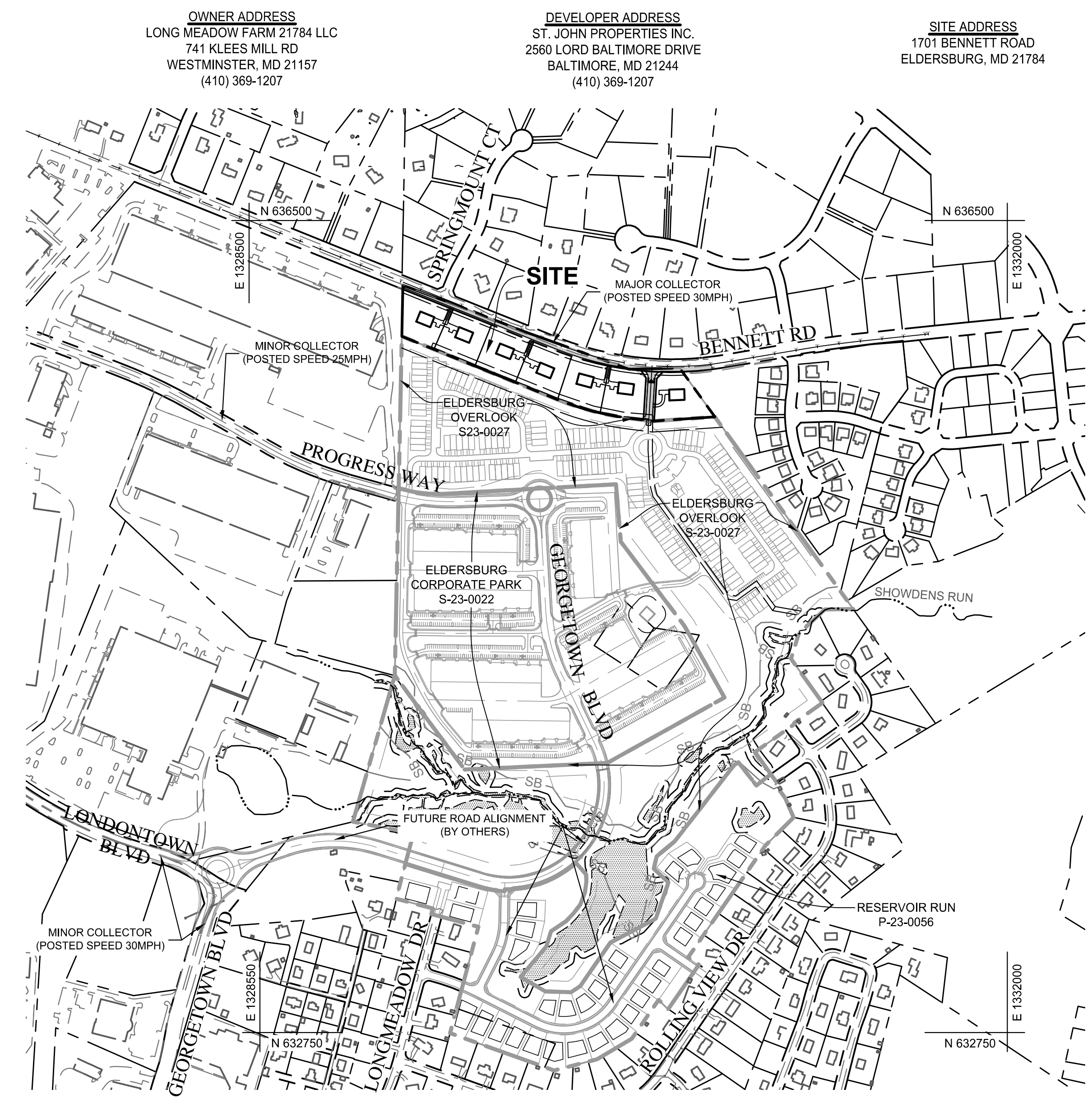
CONCEPT MAJOR SUBDIVISION PLANS FOR R-40,000 RESIDENTIAL ELDERSBURG PRESERVE

TAX MAP# 73, GRID# 6, PARCEL# 247
ELECTION DISTRICT: 5 CARROLL COUNTY, MARYLAND

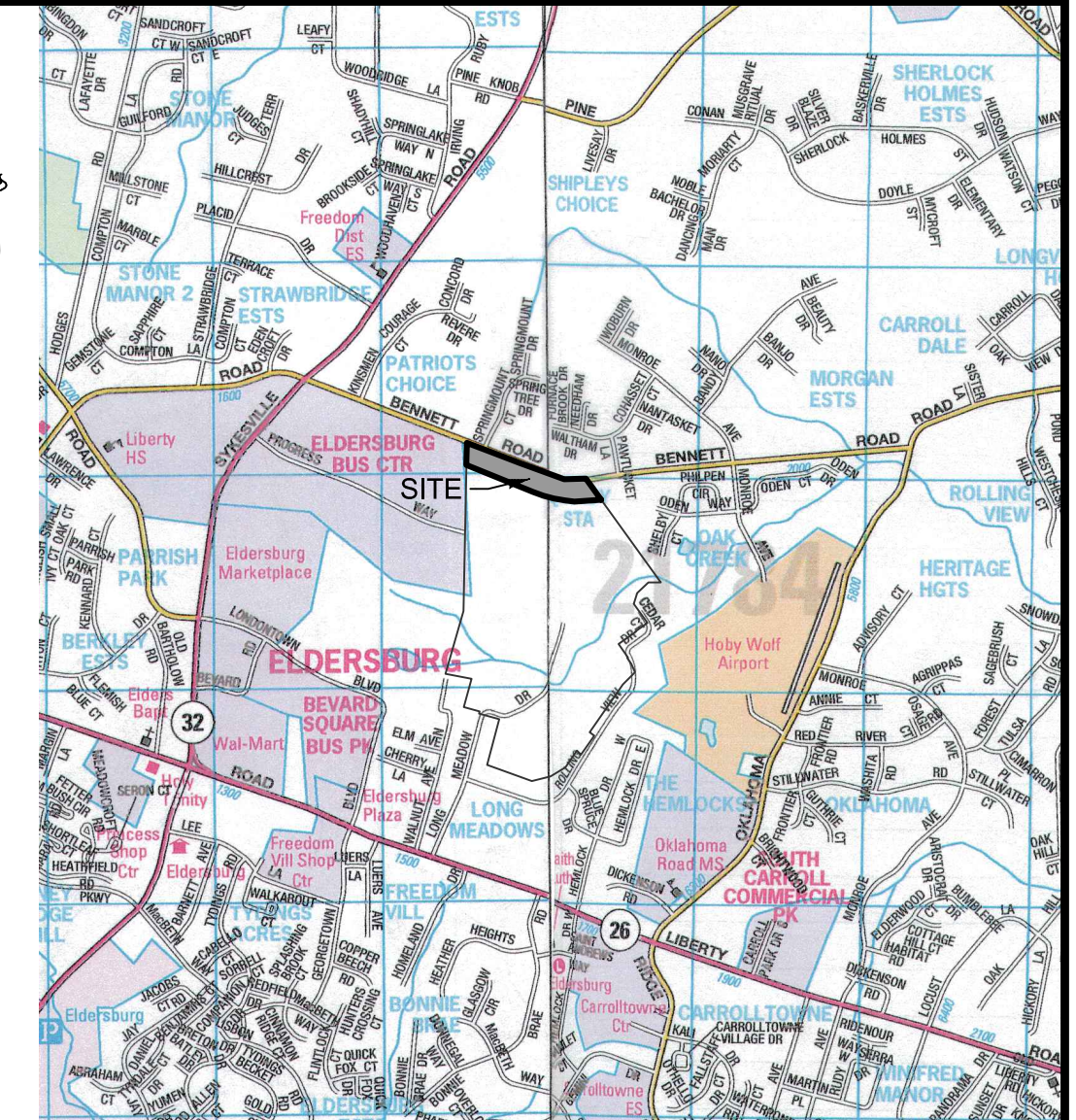
- GENERAL NOTES**
- EXISTING ZONING: R-40,000 RESIDENTIAL
 - TOTAL AREA OF SITE: 7.68 AC.
 - THE PROPERTIES SHOWN HEREON IS OWNED BY:
LONG MEADOW FARM 21784 LLC
741 KLEES MILL RD
WESTMINSTER, MD 21157
TAX MAP: 73; PARCEL: 247
 - PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY SAMS COMPANIES (FORMERLY MTPLS, INC.) DATED 11/2021.
 - LOCATION OF NEAREST WATER SUPPLY AVAILABLE FOR FIRE PROTECTION ARE EXISTING HYDRANTS LOCATED ON BENNETT ROAD, PROGRESS WAY, LONDONTOWN BLVD AND GEORGETOWN BLVD. ADDITIONAL HYDRANTS ARE PROPOSED ON SITE AS PART OF THIS SITE DEVELOPMENT PLAN TO ADDRESS FIRE PROTECTION REQUIREMENTS.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND WERE BASED ON ARCHIVAL DRAWINGS PROVIDED BY CARROLL COUNTY AND/OR THE STATE OF MARYLAND. CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY EXISTING UTILITIES TO THEIR OWN SATISFACTION AND SHALL NOTIFY THE ENGINEER (CENTURY/KLEINFELDER) OF RECORD OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RESULTING FROM ANY INACCURACIES THEREON.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES, AND NOT COMMENCE WORK UNTIL ALL UTILITIES HAVE BEEN CLEARLY MARKED.
 - THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
 - ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE CARROLL COUNTY PLANNING AND ZONING COMMISSION.
 - THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT, UNLESS AN EXTENSION OF TIME LIMIT IS ISSUED BY THE DIRECTOR OF LAND AND RESOURCE MANAGEMENT.
 - NOTE: ALL PROPOSED SPOT ELEVATIONS ARE LOCATED AT BOTTOM OF CURB AND ALL DIMENSIONS ARE TO FACE OF CURB UNLESS LABELED OTHERWISE.
 - THE COORDINATES SHOWN HEREON ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM - NAD 83 (2011) AND ARE BASED UPON THE FOLLOWING CONTROL STATIONS:

DESIGNATION	NORTH (SFT)	EAST (SFT)	ELEV.
"BEVARD"	633722.46	1326946.06	615.11
"BEVARD AZ"	633573.26	1328331.51	583.43

- THERE IS AN EXISTING REGULATED FLOODPLAIN AS WELL AS WETLANDS, STREAMS AND ASSOCIATED BUFFERS ON SITE.
- THE SITE IS APPROXIMATELY 10,000' FROM THE NEAREST PRODUCTION WELL.
- NO CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT MAY BE PARKED, PLACED OR STORED WITHIN ANY PUBLIC RIGHT OF WAY.
- UNDERGROUND TANK NOTE: IF ANY UNDERGROUND TANKS ARE ENCOUNTERED ON SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, OWNER, AND ENGINEER. THE CONTRACTOR SHALL REMOVE THE TANKS IN ACCORDANCE WITH MDE PROCEDURES ONCE APPROVAL HAS BEEN GRANTED.
- ENTRANCE CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THAT OFFICE AT 410-386-2157 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING WORK IN OR ALONG ANY PUBLIC ROAD.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF UTILITIES AT 410-386-2164 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON PUBLIC WATER OR SEWER WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS.
- THE SITE IS LOCATED WITHIN A SURFACE WATER PROTECTION AND MANAGEMENT AREA. IF THE PROPOSED USE OF ANY BUILDING IS TO INCLUDE THE STORAGE OR USE OF REGULATED SUBSTANCES, THE REQUIREMENTS OF CHAPTER 154, WATER RESOURCE MANAGEMENT OF THE CARROLL COUNTY CODE OF PUBLIC LOCAL LAWS AND ORDINANCES MUST BE ADDRESSED.
- BENNETT ROAD IMPROVEMENTS OVERLAP ON ELDERSBURG PRESERVE (P-23-0055) AND ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT COMES FIRST SHALL CONSTRUCT SAID BENNETT ROAD IMPROVEMENTS FULLY. A PUBLIC WORKS AGREEMENT WILL BE REQUIRED FOR THE CONSTRUCTION.
- A GRADING PERMIT WILL BE REQUIRED FOR ALL DISTURBANCE GREATER THEN 5,000 SQ FT.
- A NOI PERMIT THROUGH MDE WILL BE REQUIRED FOR ANY DISTURBANCE 1 ACRE OR GREATER.
- NOTE: THE PROPOSED SANITARY SEWER SHOWN ON THESE PLANS OVERLAPS WITH SAME ON ELDERSBURG OVERLOOK (S-23-0027). WHICHEVER PROJECT PROCEEDS TO CONSTRUCTION FIRST SHALL CONSTRUCT THIS SANITARY SEWER. IN THE CASE OF ELDERSBURG PRESERVE FROM SMH-14 TO THE EXISTING SMH ON ELDERSBURG OVERLOOK. IN THE CASE OF ELDERSBURG OVERLOOK FROM SMH-9 TO THE EXISTING SMH.



LOCATION MAP
SCALE: 1"=400'



VICINITY MAP
SCALE: 1"=2000'

- SITE COMPLIANCE CHECKLIST**
- CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE (1) DAY PRIOR TO BEGINNING ANY WORK.
 - SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION:
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORK SHOWN ON PLAN.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION AS OUTLINED ABOVE.

- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING ANY WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED THROUGH THE BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 BY THE CONTRACTOR/DEVELOPER OR AGENT. WRITTEN APPROVAL FROM THE LANDSCAPE REVIEW SPECIALIST, BUREAU OF RESOURCE MANAGEMENT MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE LANDSCAPING OR FOREST CONSERVATION PLANS OR MODIFICATIONS IN THE PLANT MATERIAL.
- THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASE.

- DATA SOURCES**
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
 - BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
 - COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
 - DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
 - ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

DATA TABULATION

1. ZONING DISTRICT:	R-40,000
2. NUMBER OF BUILDABLE LOTS:	7
3. TOTAL AREA OF BUILDABLE LOTS:	6.70 AC.
4. TOTAL AREA OF PROPOSED ROADS (PRIVATE):	0.28 AC.
5. TOTAL AREA OF PARCELS:	0.70 AC.
6. AREA OF SUBDIVISION:	7.68 AC.

- LIST OF DRAWINGS**
- TITLE SHEET
 - LEGEND & ABBREVIATIONS
 - EXISTING CONDITIONS PLAN
 - EXISTING CONDITIONS PLAN
 - SITE GRADING & UTILITY PLAN
 - SITE GRADING & UTILITY PLAN
 - ENTRANCE PLAN
 - ENTRANCE SIGHT DISTANCE PROFILE
 - SIGHT DISTANCE PROFILE LOTS 1 & 2
 - SIGHT DISTANCE PROFILE LOTS 3 & 4
 - SIGHT DISTANCE PROFILE LOTS 5 & 6
 - SITE DETAILS AND SECTIONS
 - EROSION AND SEDIMENT CONTROL PLAN
 - EROSION AND SEDIMENT CONTROL PLAN
 - EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS
 - EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS
 - EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS
 - LANDSCAPE PLAN
 - LANDSCAPE DETAILS AND SPECIFICATIONS

SOIL TYPES:

GaC - GAILA LOAM
GdB - GLENELG LOAM
GhB - GLENVILLE SILT LOAM
MaC - MANOR LOAM
MaF - MANOR LOAM

SOILS FROM CUSTOM SOIL REPORT FROM NRC'S WEB SOIL MAPPING SERVICE DOWNLOADED AUGUST, 2022.

SOIL CLASSIFICATION MAP No 48 & 49

TRIP GENERATION:

ITE TRIP GENERATION MANUAL (11TH EDITION) METHODOLOGY USED:

7 SINGLE FAMILY UNIT

5 AM PEAK HOUR TRIPS
5 PM PEAK HOUR TRIPS
8 SATURDAY PEAK HOUR TRIPS
87 AVERAGE DAILY TRIPS (ADT)

WATER RESOURCE MANAGEMENT NOTES

THIS PROPERTY DOES NOT FALL WITHIN A TIER II WATERSHED. THE PROPERTY IS WITHIN A CLASS III WATERSHED, SURFACE WATER PROTECTION WATERSHED AND SURFACE WATER MANAGEMENT AREA.

STORMWATER MANAGEMENT NOTE

STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE CARROLL COUNTY POLICY FOR STORMWATER MANAGEMENT, AS SPECIFIED IN CHAPTER 151.015 THE CARROLL COUNTY CODE. THE STORMWATER FROM THIS SITE DRAINS INTO SNOWDENS RUN, A USE III STREAM. ACCORDINGLY, THE 100-YEAR STORM WILL BE MANAGED THROUGH A COMBINATION OF GRASS SWALES, SUBMERGED GRAVEL WETLANDS, MICRO-BIOTENTION FACILITIES AND QUANTITY PONDS. STORMWATER MANAGEMENT IS BEING PROVIDED BY ELDERSBURG OVERLOOK STORMWATER MANAGEMENT PLAN AND REPORT UNDER THE SAME PERMIT.

OWNER
LONG MEADOW FARM 21784 LLC
741 KLEES MILL RD
WESTMINSTER, MD 21157
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055

DATE	BY	REVISIONS

CENTURY ENGINEERING
A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

TITLE SHEET

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: 1 of 19
PROJECT NUMBER: 00211253.004A

GENERAL NOTES

- CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITIONS OF THE FOLLOWING, INCLUDING ALL ADDENDA, SUPPLEMENTS OR UPDATES:
 - DESIGN MANUAL - VOLUME ONE - ROADS AND STORM DRAINS, 1994 EDITION, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
 - DESIGN GUIDE FOR FLEXIBLE PAVEMENT, 2004, OF THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS.
 - BOOK OF STANDARDS, HIGHWAY AND INCIDENTAL STRUCTURES OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
 - STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2008 EDITION, OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
 - MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD) 2009 EDITION OF THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION.
 - MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 2011 EDITION, PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.
- ALL OF THE ABOVE NOTED PUBLICATIONS ARE INCLUDED BY REFERENCE AS PART OF THESE CONSTRUCTION PLANS.
- THE CONTRACTOR SHALL NOTIFY THE CARROLL COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (410-386-2157) A MINIMUM OF THREE (3) WORKING DAYS BEFORE BEGINNING WORK.
- CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN TRAFFIC CONTROL MEASURES AS SHOWN IN THESE PLANS AND AS SPECIFIED IN THE MDMUTCD. CONTRACTOR SHALL IMMEDIATELY REMOVE AND REPLACE DEVICES WHICH ARE DAMAGED, DO NOT FUNCTION PROPERLY, OR ARE DETERMINED BY CONSTRUCTION INSPECTOR TO BE UNSUITABLE FOR THEIR PURPOSE. TRAFFIC CONTROL DEVICES MAY BE REMOVED ONLY UPON APPROVAL OF CONSTRUCTION INSPECTOR.
- LOCATIONS OF EXISTING UTILITIES ARE SHOWN ONLY AS NOTIFICATION TO CONTRACTOR OF THE PRESENCE OF UNDERGROUND UTILITIES. CARROLL COUNTY AND THE DESIGN ENGINEER DO NOT WARRANT OR GUARANTEE CORRECTNESS OR COMPLETENESS OF INFORMATION SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY AT 1-800-257-7777 FOR VERIFYING EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY DAMAGE TO EXISTING UTILITIES DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- DEVELOPER IS RESPONSIBLE IN ALL REGARDS FOR RELOCATION OF ANY EXISTING UTILITIES.
- IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS, FIGURED DIMENSIONS SHALL GOVERN.
- IF FOR ANY REASON PROPOSED FACILITIES CANNOT BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, CONTRACTOR MUST IMMEDIATELY INFORM CONSTRUCTION INSPECTOR OR CONSTRUCTION INSPECTION DIVISION (410-386-2157) AND SHALL NOT BEGIN OR CONTINUE WORK ON THOSE ITEMS, IF THE DEPARTMENT OF PUBLICWORKS DETERMINES PLAN REVISIONS ARE NECESSARY, NO WORK SHALL BE PERFORMED ON THE ITEM(S) IN QUESTION UNTIL REVISED PLANS ISSUED BY THE DESIGN ENGINEER ARE APPROVED AND ISSUED FOR CONSTRUCTION BY THE BUREAU OF DEVELOPMENT REVIEW.
- FAILURE TO MENTION SPECIFICALLY THE PROVISION OF ANY ITEM(S), OR PERFORMANCE OF ANY WORK OR PROCEDURE WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE SUCH ITEM(S) OR TO PERFORM SUCH WORK OR PROCEDURE.
- CONSTRUCT EARTH FILLS FOR ROADS, EMBANKMENTS, AND STRUCTURES IN ACCORDANCE WITH SECTION 204 EMBANKMENT AND SUBGRADE OF THE MD SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. COMPACT THE MATERIAL THAT IS 1 FOOT BELOW THE TOP OF SUBGRADE TO AT LEAST 92.0% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD. COMPACTION OF TOP ONE FOOT OF FILL SHALL NOT BE LESS THAN 97.0% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.
- DEVELOPER IS RESPONSIBLE FOR PROVIDING SOIL, BASE AGGREGATE AND HOT MIX ASPHALT COMPACTION TESTING. A CERTIFIED TECHNICIAN MUST BE ONSITE AT ALL TIMES DURING FILL OPERATIONS. COMPACTION TESTS MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND. COPIES OF SOIL COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF CURBS AND/OR BASE AGGREGATE. COPIES OF BASE AGGREGATE COMPACTION TEST RESULTS MUST BE PROVIDED TO, AND APPROVED BY, THE CONSTRUCTION INSPECTION DIVISION PRIOR TO PLACEMENT OF BASE HOT MIX ASPHALT.
- INLET GRATES IN SUMPS SHALL BE CONSTRUCTED LEVEL AT ELEVATION GIVEN IN STRUCTURE SCHEDULE. INLETS ON GRADE SHALL BE ADJUSTED SO THAT SLOPE OF GRATE MATCHES FINISHED FLOW LINE OF CURB. TOP ELEVATION SHALL APPLY TO CENTERLINE OF GRATE AT FLOW LINE OF CURB. CROSS SLOPE OF THE GRATE SHALL MATCH THE ROAD CROSS SLOPE.
- PIPE ELEVATIONS SHOWN ON STORM DRAIN PROFILES ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED.
- WHERE DITCH OR WATERWAY STABILIZATION MATTING OF ANY TYPE IS SPECIFIED, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MATTING SHALL BE PLACED ON BOTTOM AND SIDE SLOPES TO PROVIDE EITHER 1.0' STABILIZED DEPTH, UNLESS OTHERWISE INDICATED ON PLANS.
- ALL EXISTING PAVING DISTURBED BY UTILITY CUTS SHALL BE REPLACED IN ACCORDANCE WITH CARROLL COUNTY STANDARD PLATE 47, OPTION 1 OR OPTION 3 IN THE DESIGN MANUAL, VOLUME 1 OR AS NOTED IN THE UTILITY PERMIT.
- ONCE BEGUN, ROAD CONSTRUCTION SHALL BE CONTINUED UNTIL FULL DEPTH OF AGGREGATE BASE AND PAVING AS SHOWN ON THE TYPICAL SECTION ARE PLACED, INCLUDING THE FINISHED SURFACE COURSE, AGGREGATE BASE COURSE AND HOT MIX ASPHALT BASE COURSE SHALL NOT REMAIN UNCOVERED FOR MORE THAN FIVE WORKING DAYS.
- OFF-SITE BORROW MATERIAL TO BE IMPORTED FOR EMBANKMENT CONSTRUCTION AND SUPPORT OF PAVEMENT IS TO MEET THE MINIMUM SUBGRADE SOIL SPECIFICATIONS IN TABLE 3 OF THE DESIGN GUIDE FOR FLEXIBLE PAVEMENTS. CBR TESTING OF OFF-SITE BORROW MATERIAL SHALL BE COMPLETED AND THE TEST RESULTS SUBMITTED TO AND APPROVED BY THE BUREAU OF DEVELOPMENT REVIEW PRIOR TO DELIVERY OF THE MATERIAL. THE PAVING DESIGN SECTIONS SHOWN ON THE APPROVED PLANS SHALL BE REVIEWED AND EVALUATED USING THE CBR TESTING RESULTS OF THE BORROW MATERIAL. ANY CHANGES TO THE PAVEMENT DESIGN SECTIONS BASED ON THE CBR TEST RESULTS SHALL BE INCORPORATED THROUGH THE RED-LINE REVISION PROCESS.
- THE DESIGN EQUIVALENT SINGLE AXLE LOADS (ESAL) AND THE DESIGN CBR VALUE SHALL BE NOTED ON THE CONSTRUCTION PLANS.
- PERMANENT SIGNAGE AND STRIPING SHALL BE FURNISHED AND INSTALLED BY THE CARROLL COUNTY BUREAU OF ROADS OPERATIONS. CONTRACTOR SHALL NOTIFY THE BUREAU OF ROADS OPERATIONS AT 410-386-6717 A MINIMUM OF THREE (3) WEEKS PRIOR TO STARTING WORK AND THEN AGAIN 48 HOURS PRIOR TO COMPLETION OF WORK.
- CONSTRUCTION VEHICLES, CONTRACTOR OR PRIVATE, OR CONSTRUCTION MATERIALS OR EQUIPMENT SHALL NOT BE PARKED, PLACED, OR STORED WITHIN ANY PUBLIC RIGHT-OF-WAY.

ABBREVIATIONS

APPROX.	APPROXIMATELY
AVE	AVENUE
BGE	BALTIMORE GAS & ELECTRIC
C.O.	CLEANOUT
CAP	CONCRETE ARCH PIPE
cfs	CUBIC FEET PER SECOND
C.I.	CLEARANCE
CL	CLEAR
C.L.F.	CHAIN LINK FENCE
CL IV	CLASS IV
CMAP	CORRUGATED METAL ARCH PIPE
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
C&P	CHESAPEAKE & POTOMAC
☐	CENTER LINE
D.	STORM DRAIN
D.C.	DETECTOR CHECK
D.I.	DUCTILE IRON
D.I.P./DIP	DUCTILE IRON PIPE
DEPT	DEPARTMENT
DWG	DRAWING
(E)	EAST
E.B.	EAST BOUND
ELEC	ELECTRIC
ELEV	ELEVATION
ESMT	EASEMENT
EX.	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF/FFE	FINISHED FLOOR ELEVATION
F.H.	FIRE HYDRANT
fps	FEET PER SECOND
G.	GAS
G.W.	GUY WIRE
GALV.	GALVANIZED
HGL	HYDRAULIC GRADE LINE
H.B.	HAND BOX
HORIZ	HORIZONTAL
HWY	HIGHWAY
I.	INLET
INV.	INVERT
LN	LANE
LP	LOW PRESSURE
MH	MANHOLE
MIN.	MINIMUM
(N)	NORTH
N.B.	NORTH BOUND
N/A	NOT APPLICABLE
NAD	NORTH AMERICAN DATUM
NAVD	NORTH AMERICAN VERTICAL DATUM
OHE	OVERHEAD ELECTRIC
PKWY	PARKWAY
PR./PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE
QTY.	QUANTITY
R/W	RIGHT-OF-WAY
RCCP	REINFORCED CIRCULAR CONCRETE PIPE
RET	RETAINING
REV	REVISION
RD	ROOFDRAIN
(S)	SOUTH
S./SAN.	SANITARY
S.B.	SOUTH BOUND
S.H.C	SANITARY HOUSE CONNECTION
S/W	SIDEWALK
SCH	SCHEDULE
SD.	STORM DRAIN
SQ.FT.	SQUARE FEET
ST.	STREET
STD.	STANDARD
TCB	TRAFFIC CONTROL BOX
TYP.	TYPICAL
U/G	UNDER GROUND
UK	UNKNOWN
VERT	VERTICAL
(W)	WEST
W.	WATER
W.B.	WEST BOUND
W	WITH
WHC	WATER HOUSE CONNECTION
WM	WATER METER

SITE LEGEND

	ZONING LINE
	PROPERTY LINE WITH BEARING & DISTANCE
	ADJOINER PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING FIELD RUN MAJOR CONTOUR
	EXISTING FIELD RUN MINOR CONTOUR
	EXISTING GIS MAJOR CONTOUR
	EXISTING GIS MINOR CONTOUR
	EXISTING SOILS LIMITS WITH HSG DESIGNATION
	EXISTING STORM DRAIN LINE (LESS THAN 24") WITH MANHOLE
	EXISTING STORM DRAIN LINE (24" AND GREATER)
	EXISTING STORM DRAIN INLETS
	EXISTING SANITARY SEWER LINE WITH MANHOLE
	EXISTING WATER LINE WITH VALVE
	EXISTING GAS LINE WITH VALVE
	EXISTING UNDERGROUND ELECTRIC LINES
	EXISTING OVERHEAD ELECTRIC LINES WITH POLE
	EXISTING CHAINLINK FENCE
	EXISTING WOOD FENCE
	EXISTING PAVEMENT EDGE
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EXISTING STRUCTURE
	Existing Treeline
	Existing Wood Fence
	Existing Non-tidal Wetlands
	25' Non-tidal Wetlands Buffer
	Stream Buffer
	Flood Plain
	Existing Street Light
	Ex. Water Valve
	Ex. Water Meter
	Existing Fire Hydrant
	Ex. Sanitary Cleanout
	Ex. Sign
	Limit of Field Run Topo
	Proposed Major Contour
	Proposed Minor Contour
	Proposed Structure
	Proposed Pavement Edge
	Proposed Curb & Gutter
	Proposed Sidewalk
	Proposed Retaining Wall
	Proposed Storm Drain with Manhole
	Proposed Storm Drain Inlets
	Proposed Sewer with Manhole
	Proposed Water
	Proposed Site Lighting (by others)
	Proposed Fire Hydrant
	Proposed Water Reducer
	Proposed Water Valve
	Proposed Sign
	Proposed Paving

SEDIMENT CONTROL LEGEND

	Silt Fence
	Super Silt Fence
	Earth Dike
	Temporary Swale
	Removable Pumping Station
	Limit of Disturbance
	Stabilized Construction Entrance (SCE)
	AGIP <input type="checkbox"/> At Grade Inlet Protection
	SIP <input type="checkbox"/> Standard Inlet Protection
	COIP <input type="checkbox"/> Combination Inlet Protection
	IB <input type="checkbox"/> Inlet Blocking

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER, 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY ENGINEERING
A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

LEGEND AND ABBREVIATIONS

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

NOTE ALL ITEMS SHOWN IN LEGEND MAY NOT BE PRESENT ON ALL SHEETS. ADDITIONAL, SUPPLEMENTARY LEGENDS MAY APPEAR ON INDIVIDUAL PLANS AS IS NECESSARY.

<p>OWNER LONG MEADOW FARM 21784 LLC 741 KLEES MILL RD WESTMINSTER, MD 21157 PHONE NO: 410-369-1207</p>	<p>DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207</p>	<p>P-23-0055</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	BY	REVISIONS									
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PROFESSIONAL CERTIFICATION

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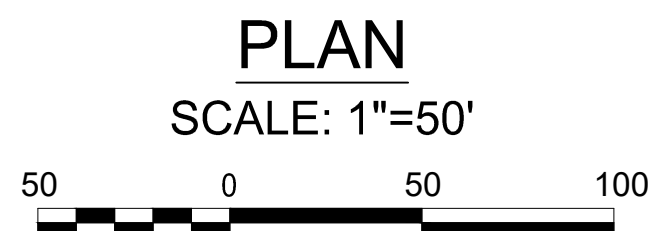
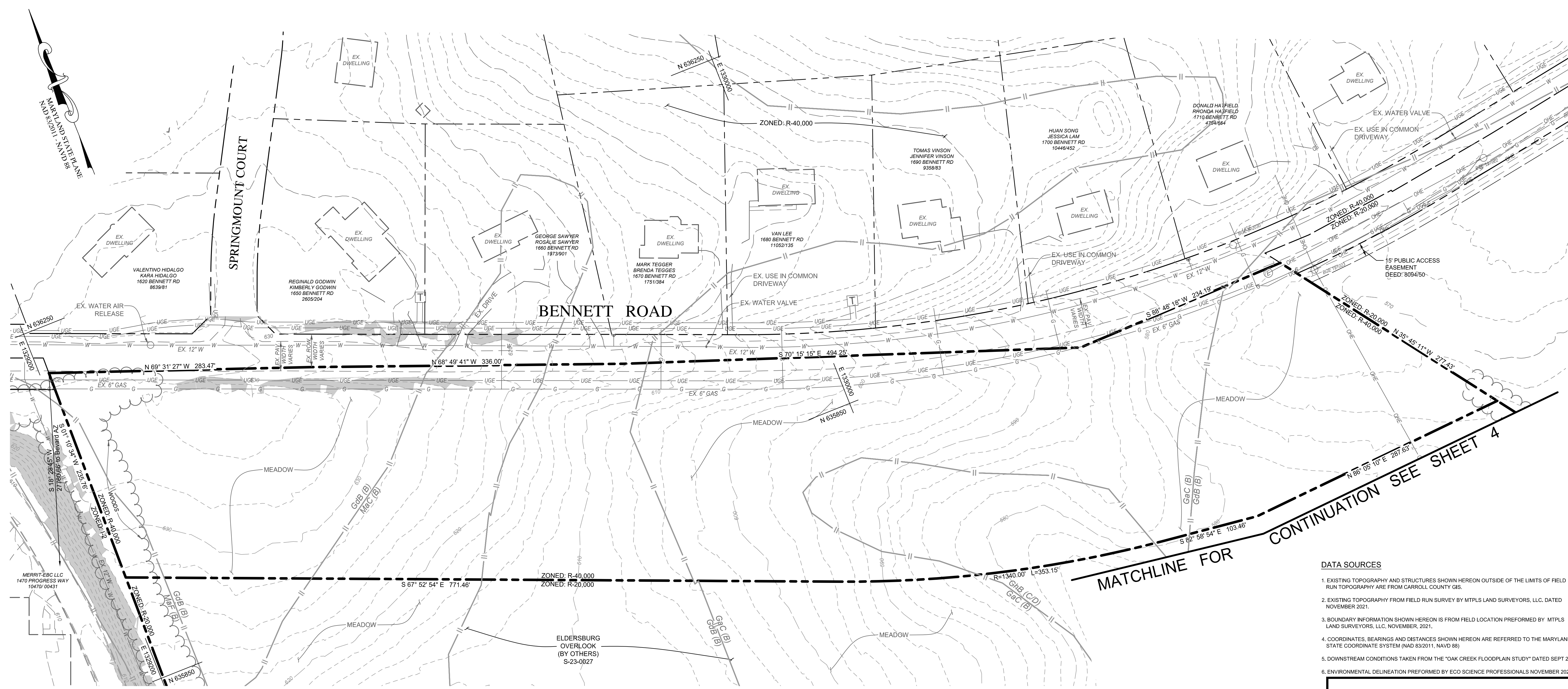
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: **2 of 19**

PROJECT NUMBER: 00211253.004A

T:\2021\Facilities\00211253_001A_Beaty Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253_004A (C-1) Title Sheet.dwg May 02, 2024 5:17pm rlangehr

T:\2021\Facilities\00211253.001A Bealy Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253.004A (C-3) Existing Conditions Plan.dwg May 02, 2024 5:17pm rlangretr



MATCHLINE FOR CONTINUATION SEE SHEET 4

- DATA SOURCES**
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 - ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

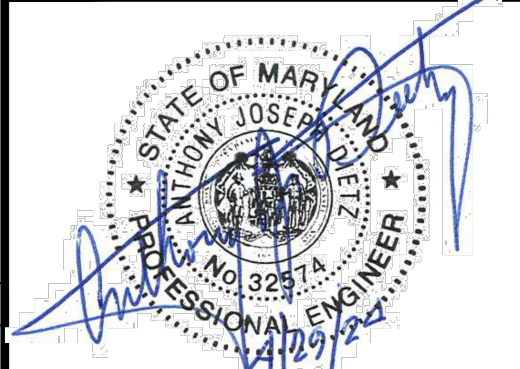
CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

EXISTING CONDITIONS PLAN

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD



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REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES

OWNER
LONG MEADOW FARM 21784 LLC
741 KLEES MILL RD
WESTMINSTER, MD 21157
PHONE NO: 410-369-1207

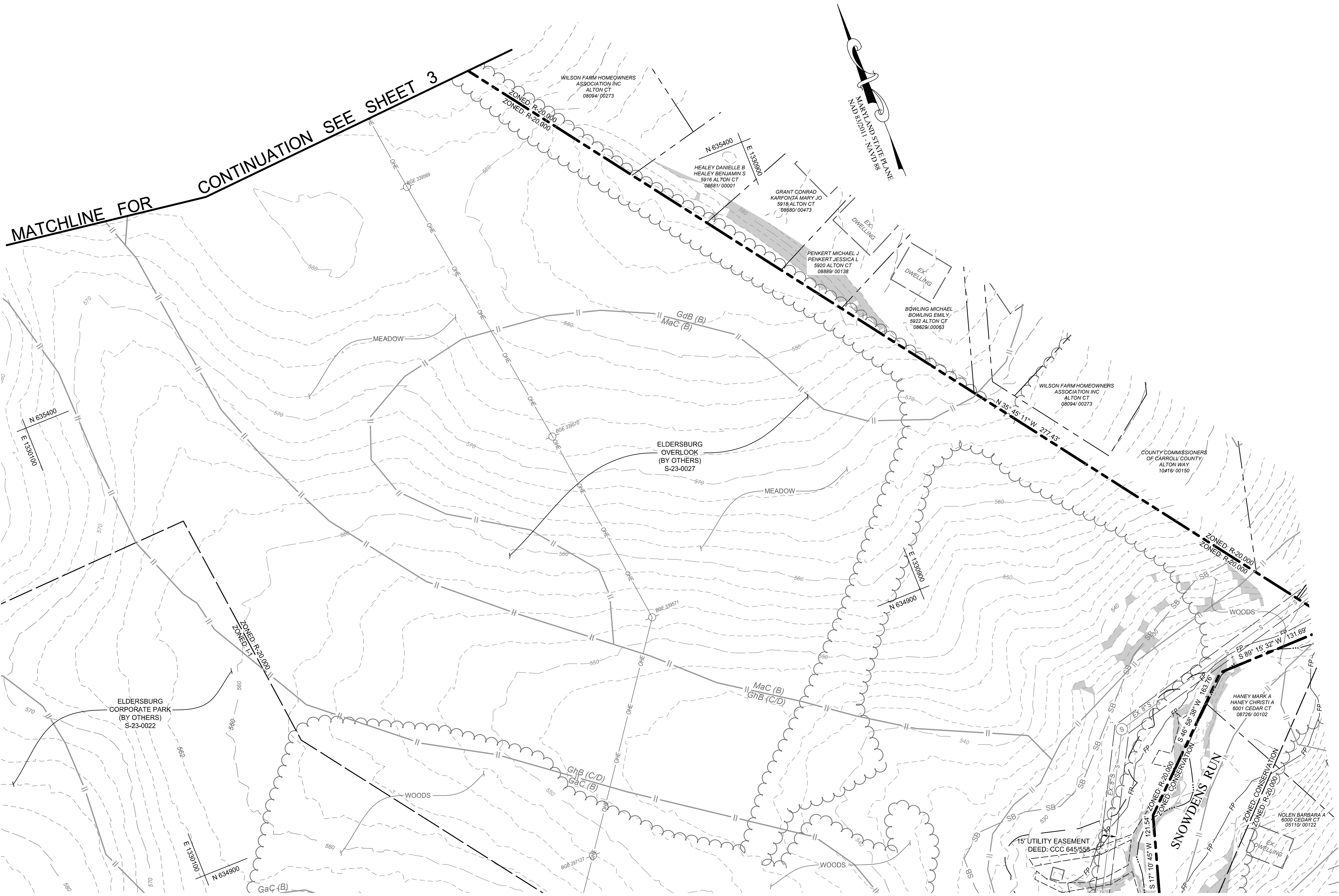
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BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
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P-23-0055

DATE	BY	REVISIONS

DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: PROJECT NUMBER: 00211253.004A **3 of 19**

T:\2021\Facilities\002.11253.001A Bealy Property\CIVIL\CADD\Drawings\Concept Northern Single Family\002.11253.004A (C-3) Existing Conditions Plan.dwg May 02, 2024 5:18pm rlangretr



MATCHLINE FOR CONTINUATION SEE SHEET 3



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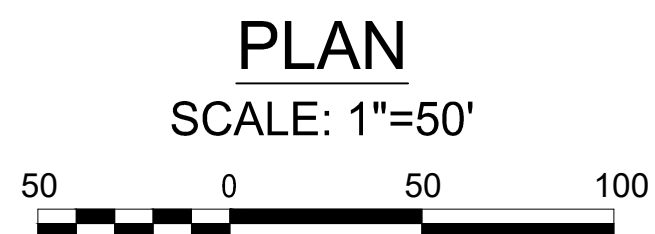
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CONCEPT MAJOR SUBDIVISION PLAN
 FOR R-40,000 RESIDENTIAL

EXISTING CONDITIONS PLAN

ELDERSBURG PRESERVE

BENNETT ROAD
 ELDERSBURG, MD
 TAX MAP 73 : GRID 6 : PARCEL 247
 ELECTION DISTRICT 5 CARROLL COUNTY, MD



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PROFESSIONAL CERTIFICATION

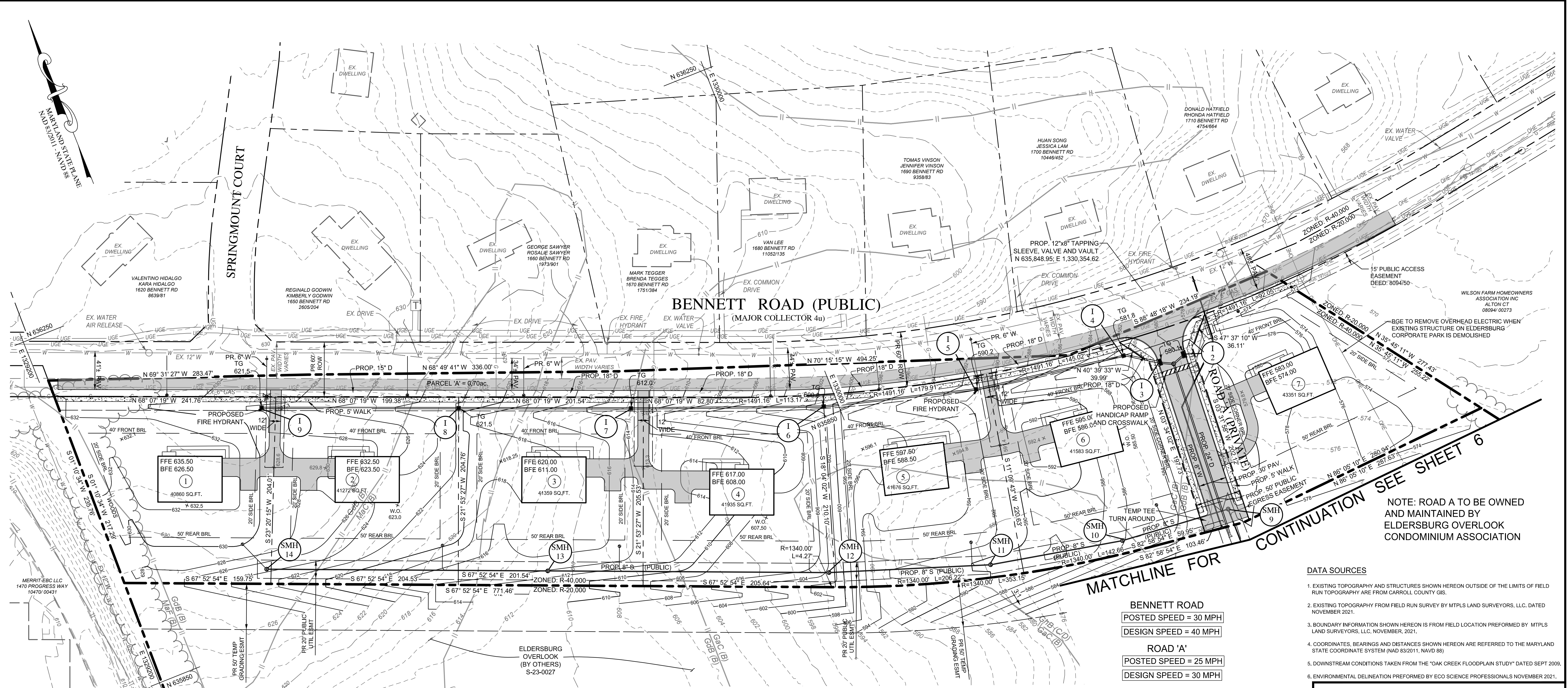
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DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: PROJECT NUMBER: 00211253.004A

4 of 19

T:\2021\Facilities\00211253.001A Bealy Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253.004A (C-5) Site Plan.dwg May 02, 2024 5:18pm rlangrehr



PLAN
SCALE: 1"=50'

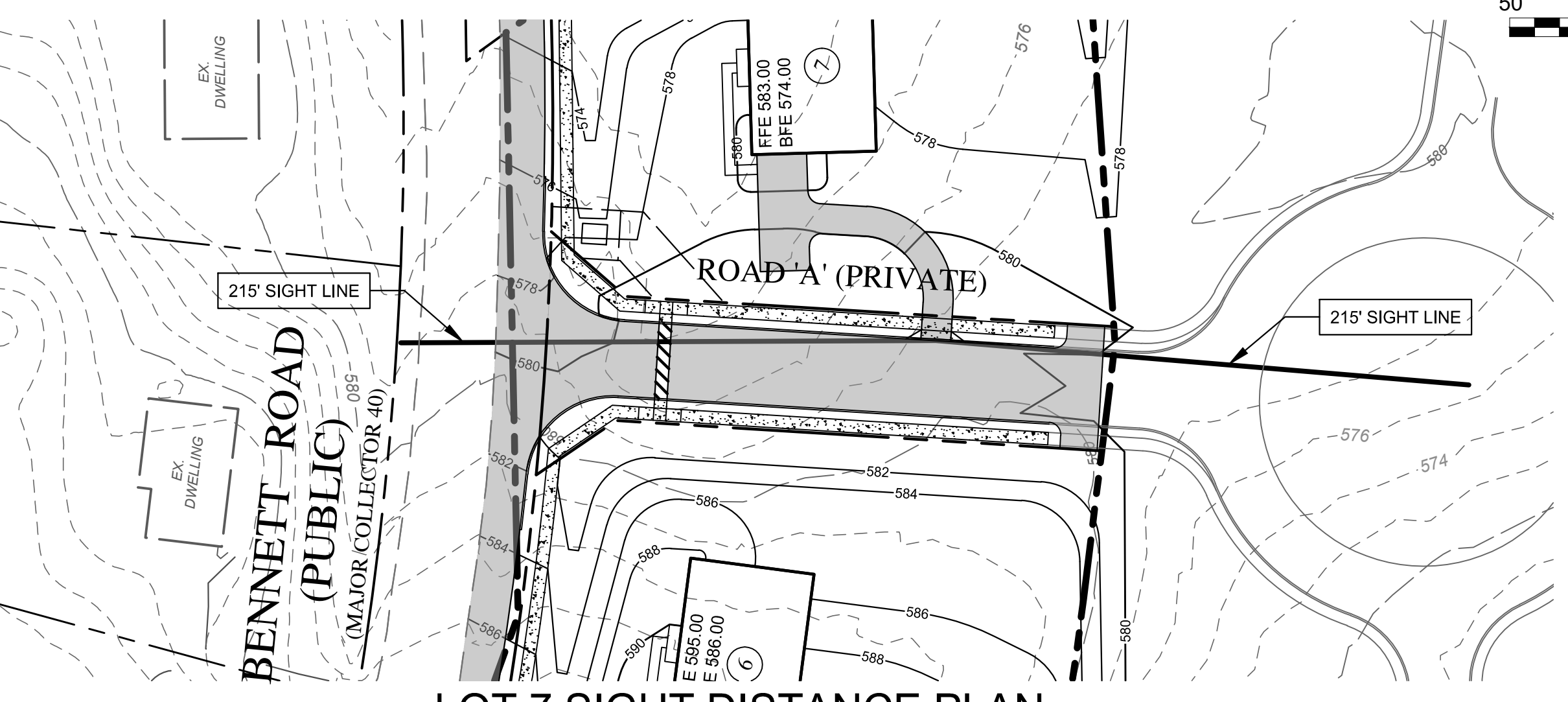


BENNETT ROAD
POSTED SPEED = 30 MPH
DESIGN SPEED = 40 MPH

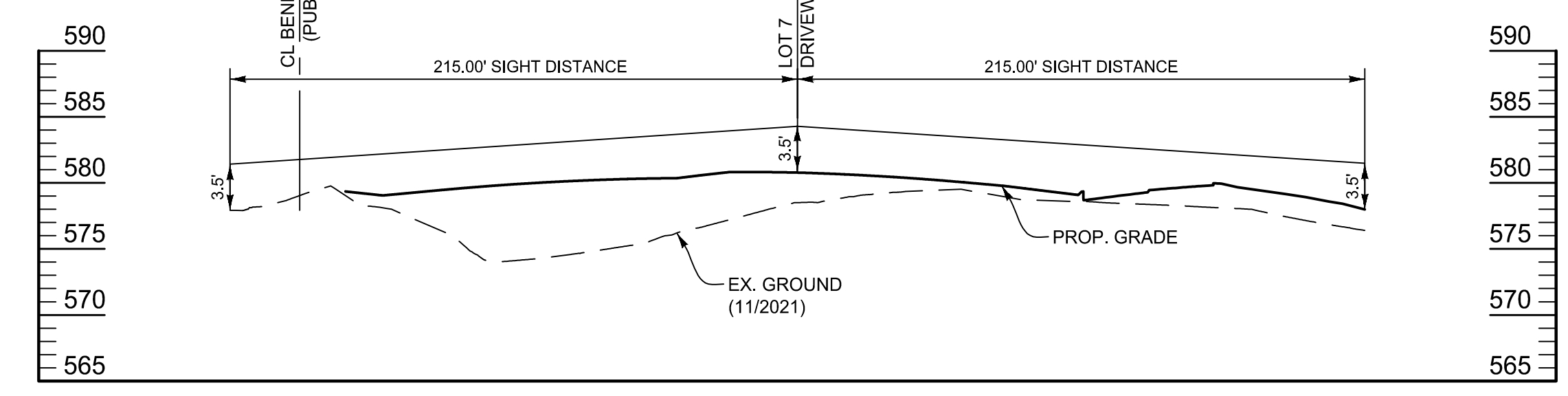
ROAD 'A'
POSTED SPEED = 25 MPH
DESIGN SPEED = 30 MPH

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LOT 7 SIGHT DISTANCE PLAN
SCALE: 1"=50'



LOT 7 DRIVEWAY SIGHT LINE PROFILE

HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 10'



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CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

SITE GRADING & UTILITY PLAN

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

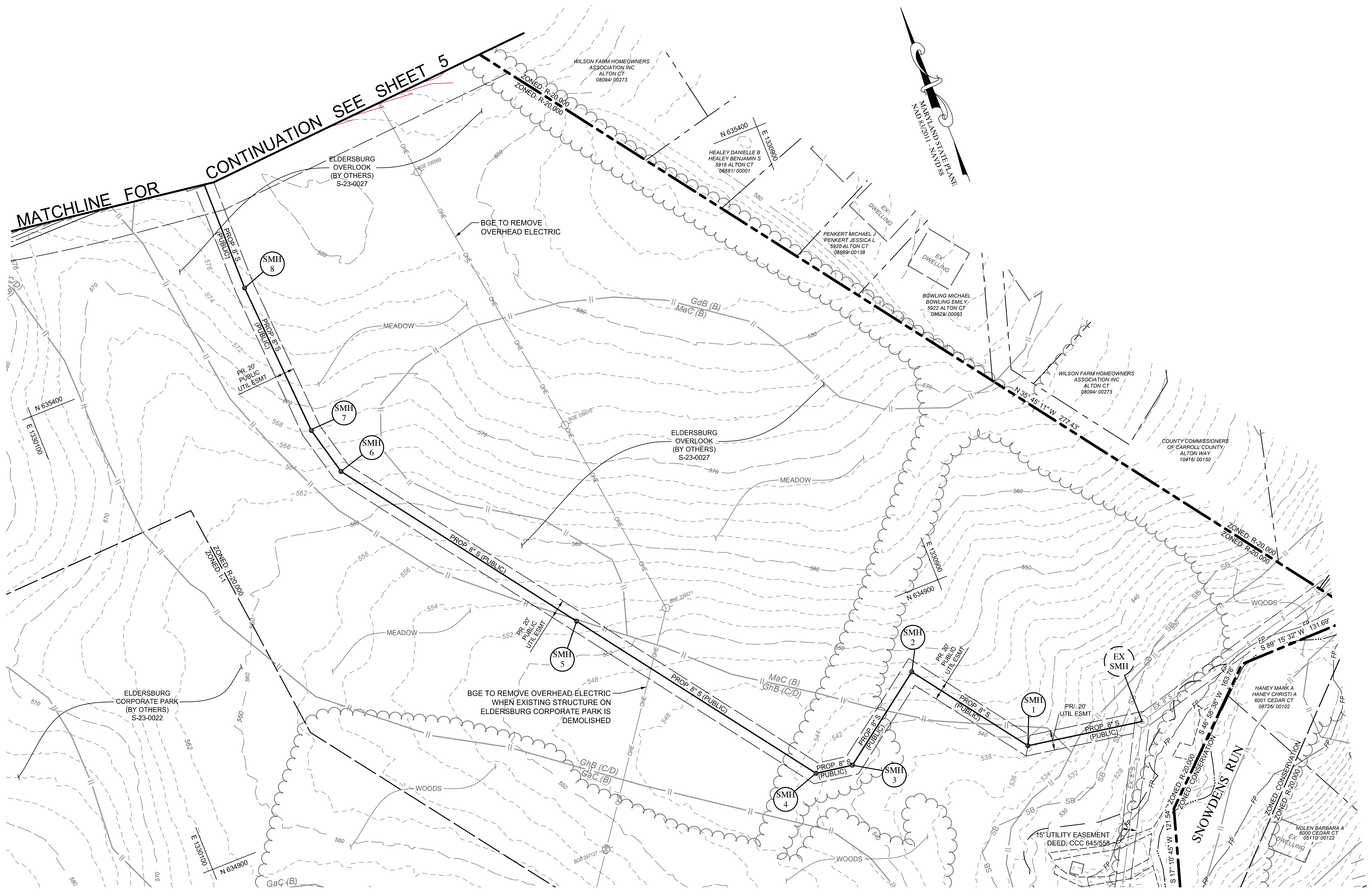
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5 of 19

MATCHLINE FOR CONTINUATION SEE SHEET 5



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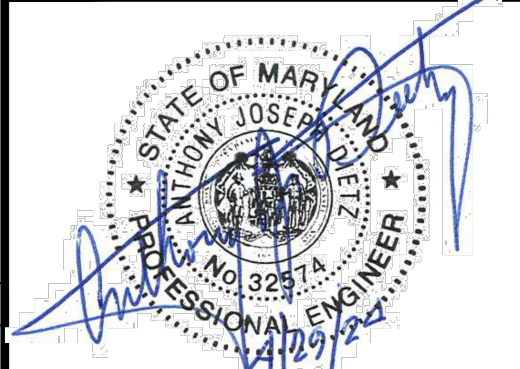
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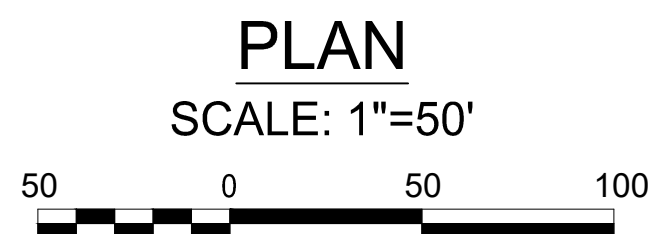
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ELDBURG PRESERVE

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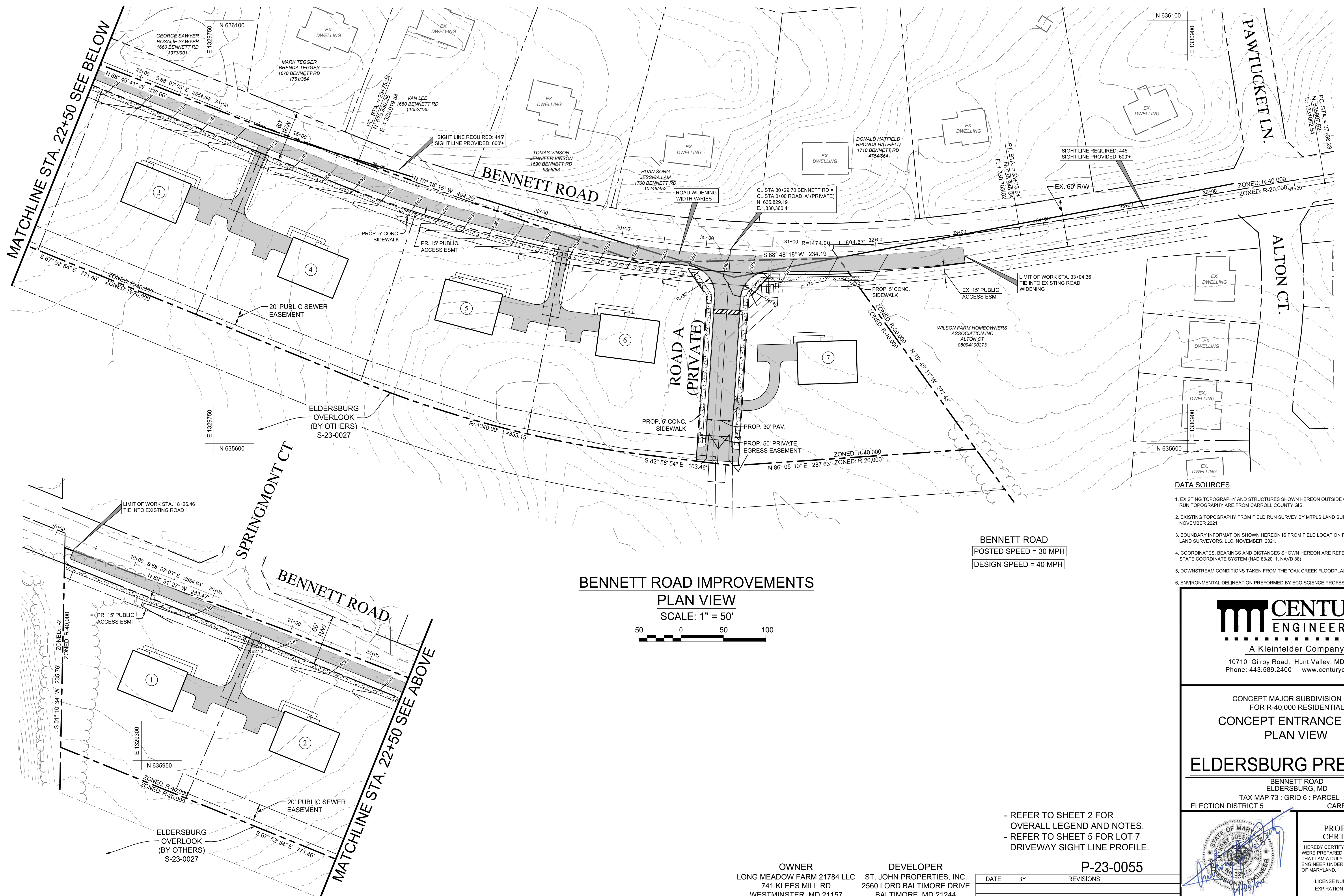
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BENNETT ROAD IMPROVEMENTS

PLAN VIEW
SCALE: 1" = 50'
50 0 50 100

BENNETT ROAD
POSTED SPEED = 30 MPH
DESIGN SPEED = 40 MPH

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CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL
CONCEPT ENTRANCE PLAN
PLAN VIEW

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

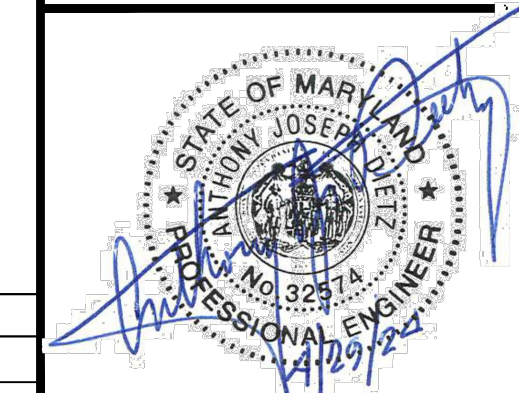
- REFER TO SHEET 2 FOR OVERALL LEGEND AND NOTES.
- REFER TO SHEET 5 FOR LOT 7 DRIVEWAY SIGHT LINE PROFILE.

P-23-0055

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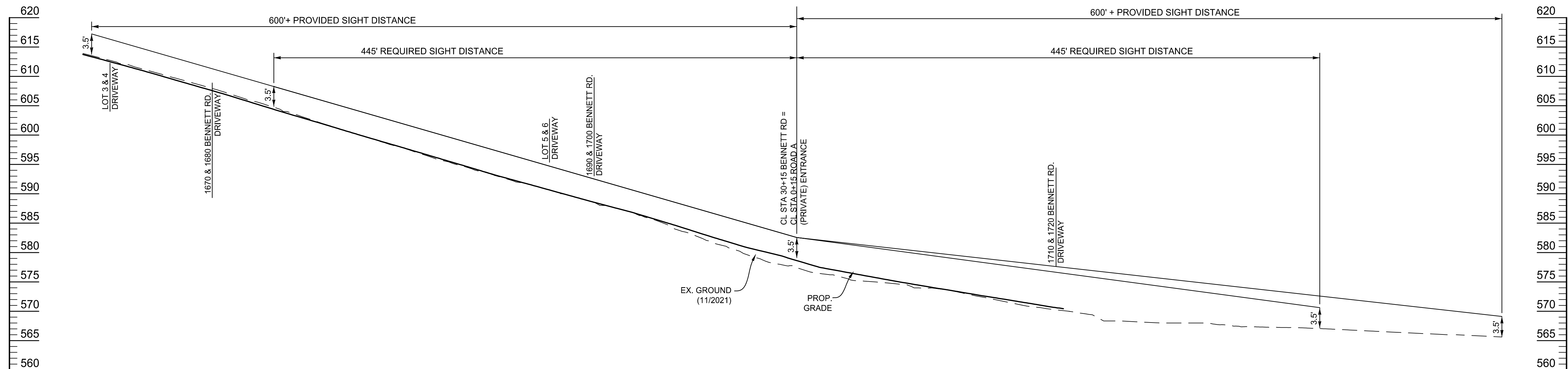
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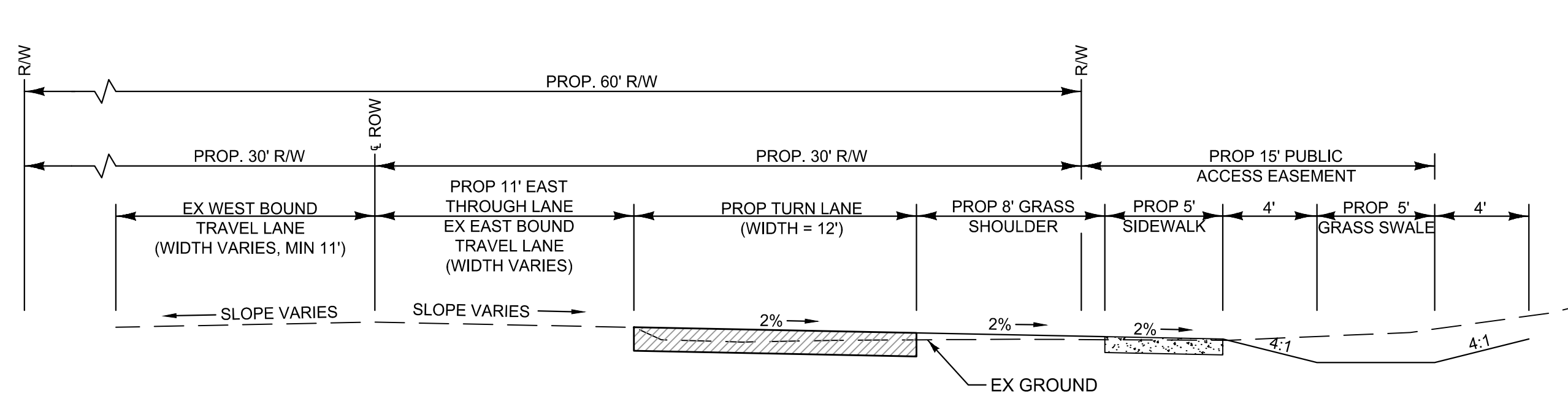
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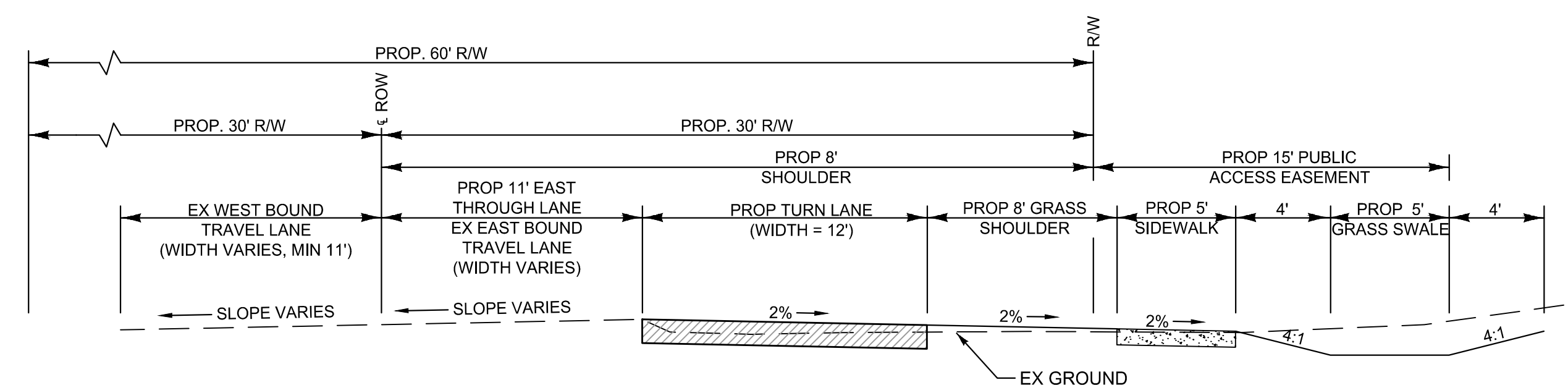


**ROAD 'A'
SIGHT LINE PROFILE**

HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 10'



**BENNETT ROAD
TYPICAL CROSS SECTION
NOT TO SCALE**

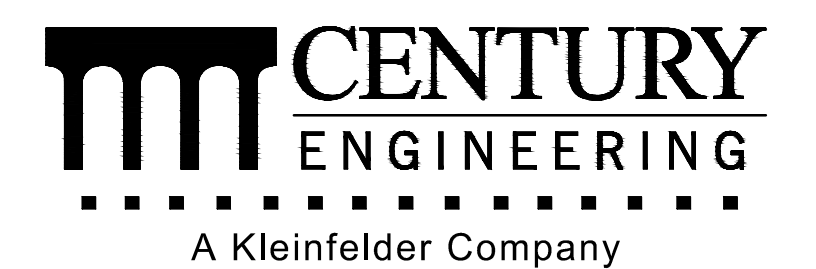


**BENNETT ROAD
TYPICAL CROSS SECTION FOR
SUPER ELEVATION
NOT TO SCALE**

REFER TO SHEET 2 FOR OVERALL
LEGEND AND NOTES

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CONCEPT MAJOR SUBDIVISION PLAN
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CONCEPT ENTRANCE PLAN
PROFILE VIEW

ELDERSBURG PRESERVE

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ELDERSBURG, MD
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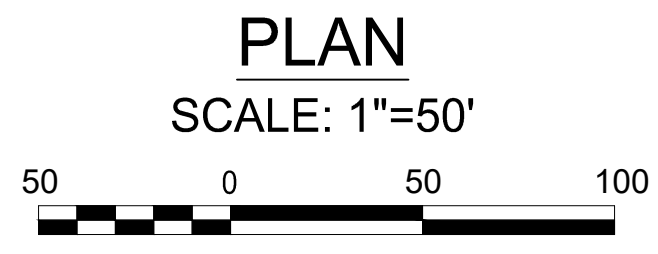
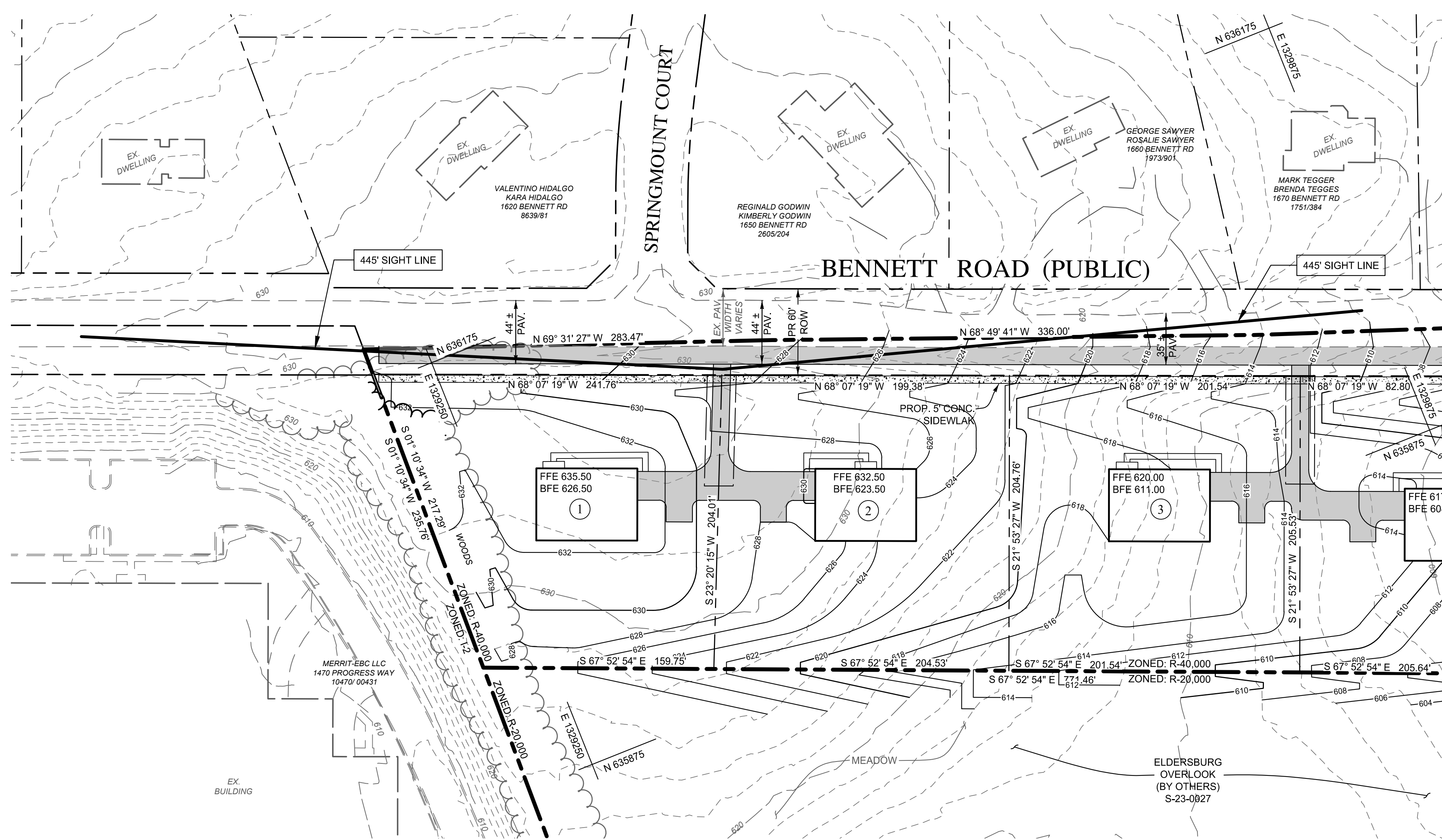
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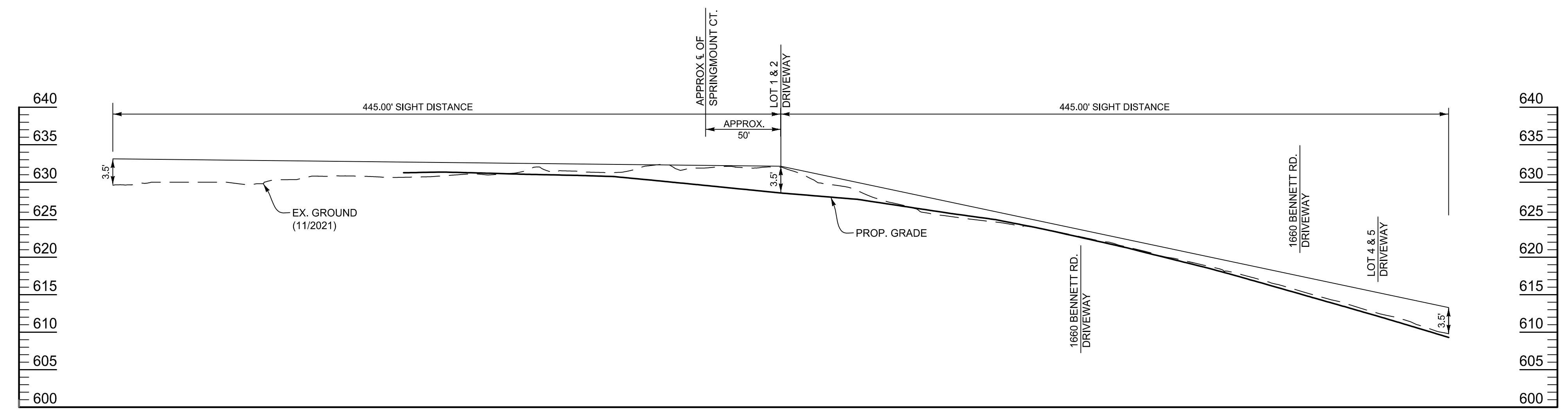
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T:\2021\Facilities\00211253_001A Bealy Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253_004A (C-9) Site Distance Plan Lots 1 & 2.dwg May 02, 2024 5:19pm rfangrehr



POSTED SPEED = 30 MPH
DESIGN SPEED = 40 MPH



**LOTS 1 & 2 DRIVEWAY
SIGHT LINE PROFILE**
HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 10'

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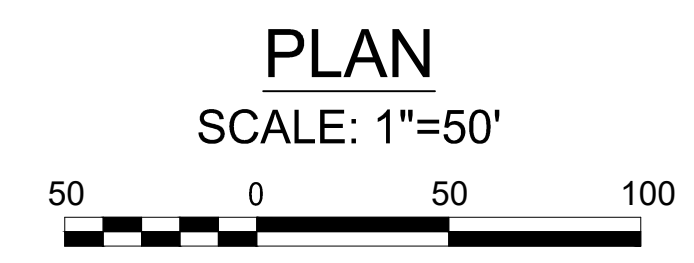
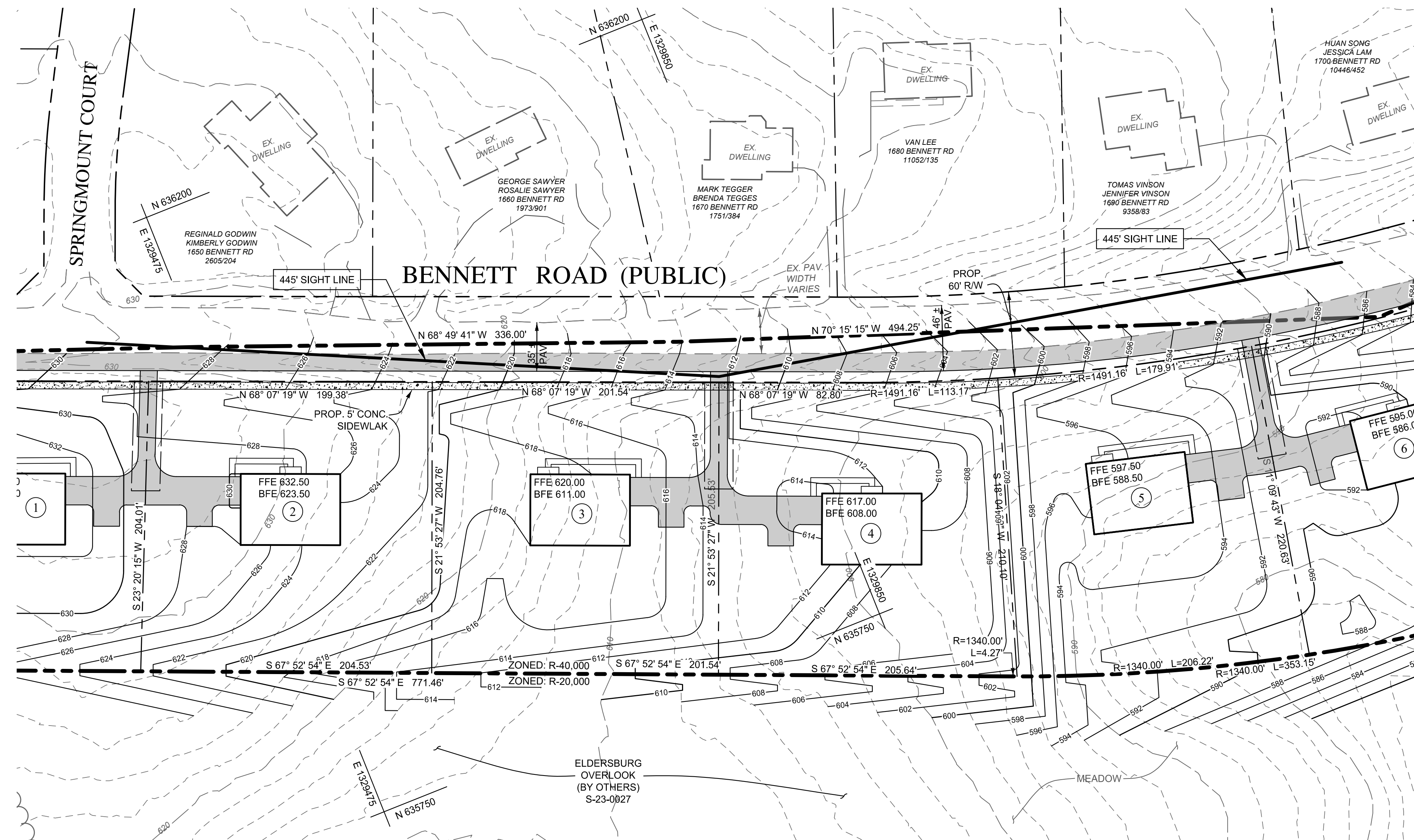
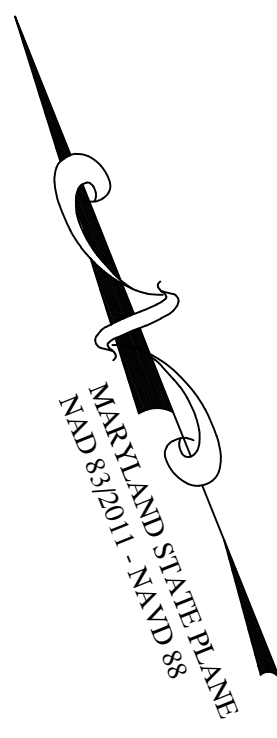
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FOR R-40,000 RESIDENTIAL
**LOTS 1 & 2 SIGHT LINE
PLAN & PROFILE**
ELDERSBURG PRESERVE
BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

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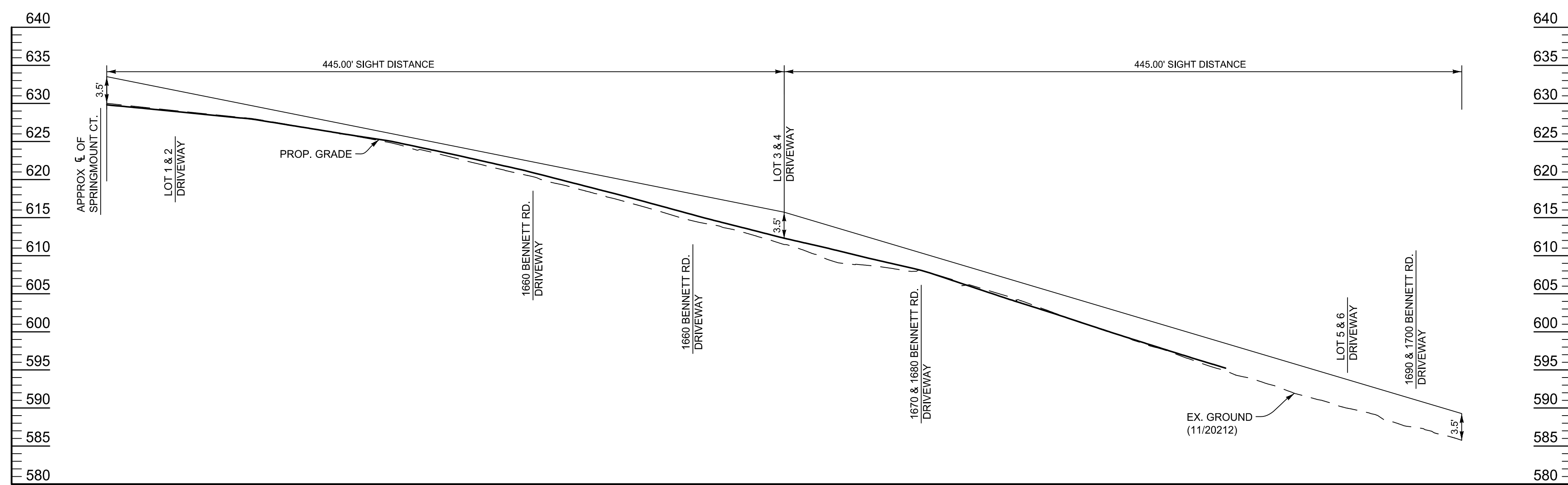
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9 of 19



POSTED SPEED = 30 MPH
DESIGN SPEED = 40 MPH



**LOTS 3 & 4 DRIVEWAY
SIGHT LINE PROFILE**
HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 10'

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 - ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

REFER TO SHEET 2 FOR OVERALL
LEGEND AND NOTES



CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

**LOTS 3 & 4 SIGHT LINE
PLAN & PROFILE**

ELDBERSBURG PRESERVE

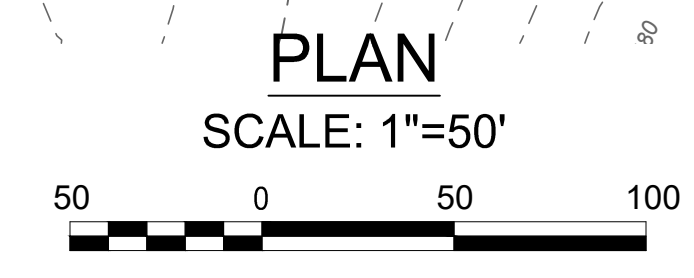
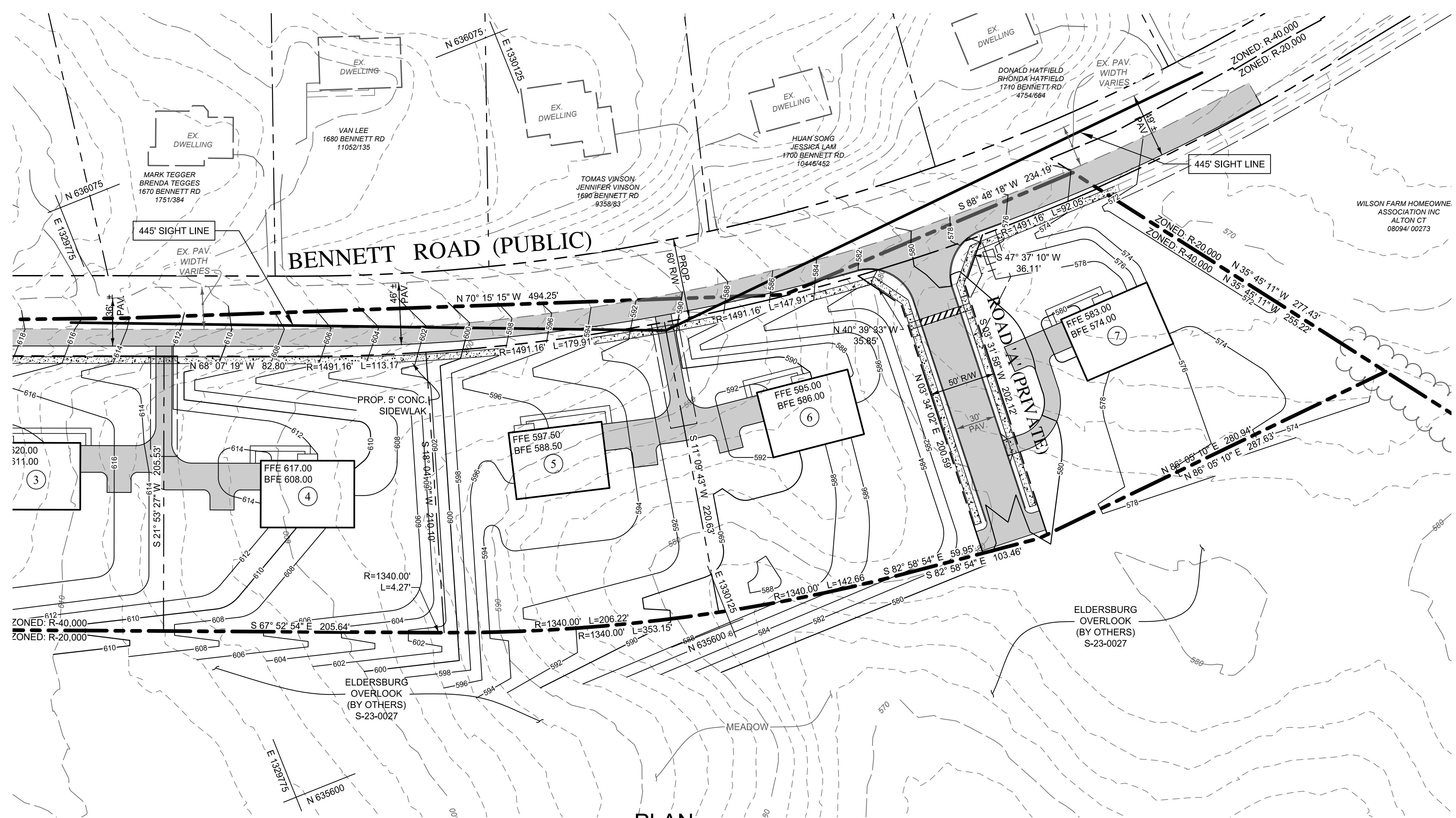
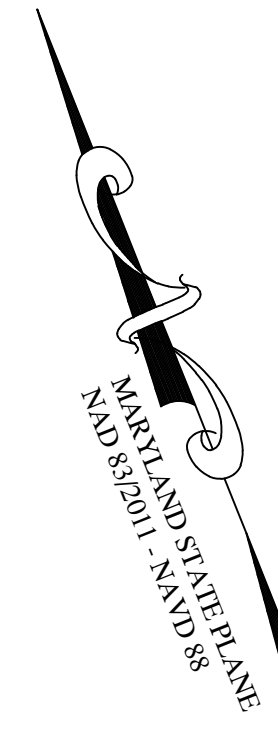
BENNETT ROAD
ELDBERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD



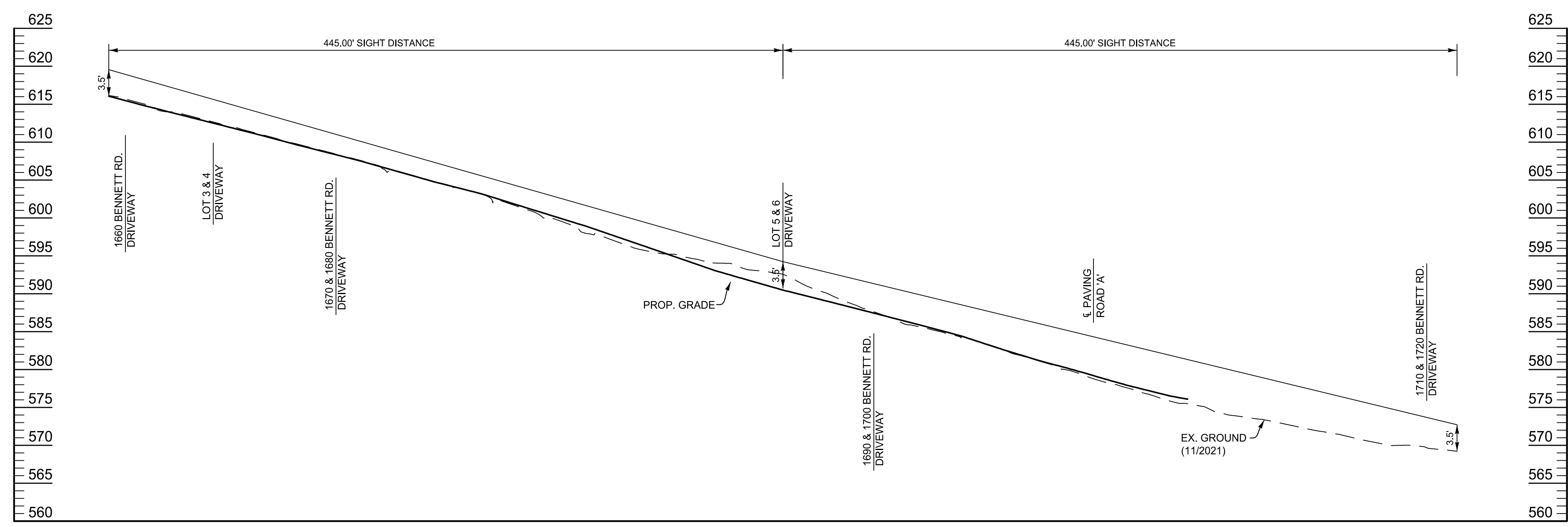
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LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

T:\2021\Facilities\00211253.001A Bealy Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253.004A (C-10) Site Distance Plan Lots 3 & 4.dwg May 02, 2024 5:20pm rlangrehr



POSTED SPEED = 30 MPH
DESIGN SPEED = 40 MPH



**LOTS 5 & 6 DRIVEWAY
SIGHT LINE PROFILE**
HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 10'



OWNER
LONG MEADOW FARM 21784 LLC
741 KLEES MILL RD
WESTMINSTER, MD 21157
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055

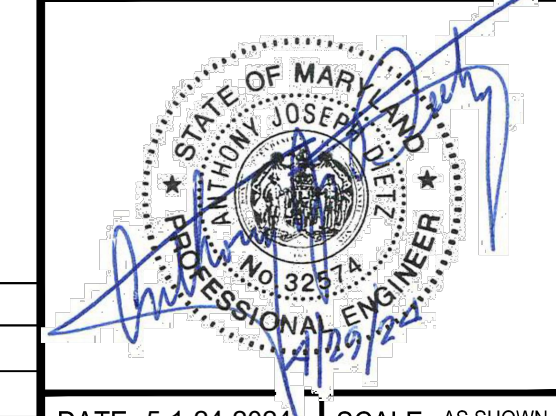
DATE	BY	REVISIONS

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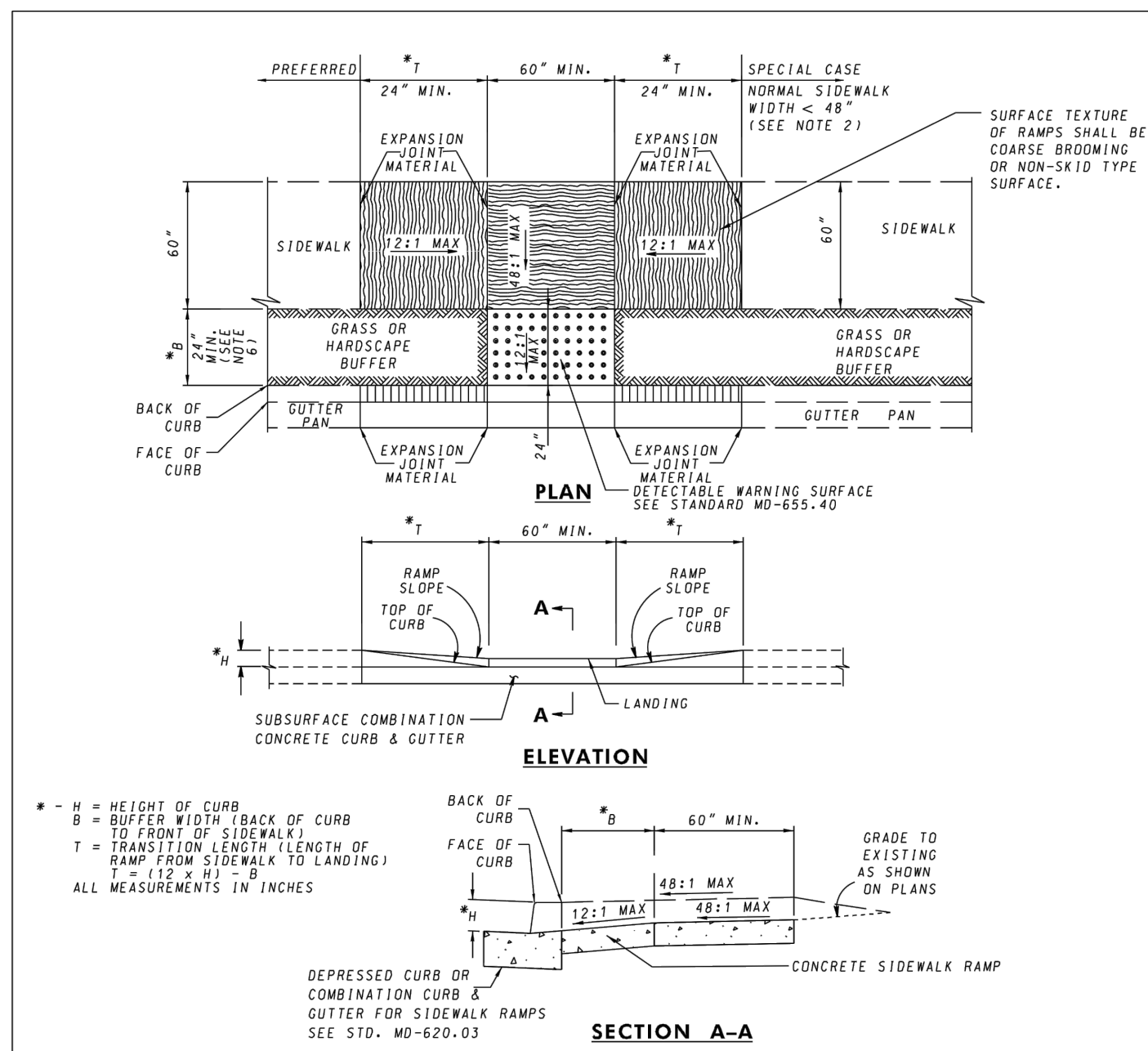
CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL
**LOTS 5 & 6 SIGHT LINE
PLAN AND PROFILE**
ELDERSBURG PRESERVE
BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD



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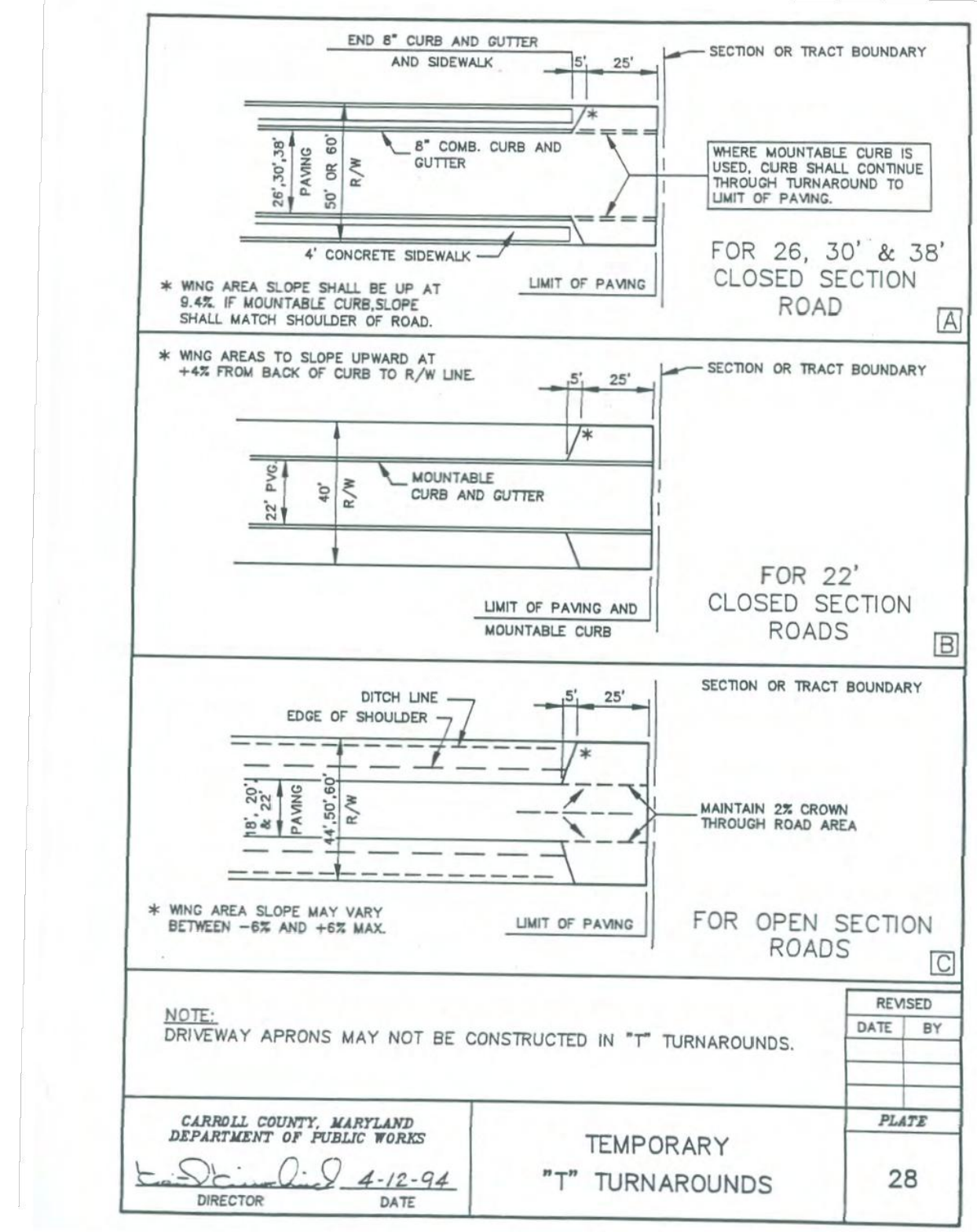
T:\2021\Facilities\00211253.001A Beatty Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253.004A (C11) Site Distance Plan Lots 5 & 6.dwg May 02, 2024 5:20pm rlangrehr



NOTES

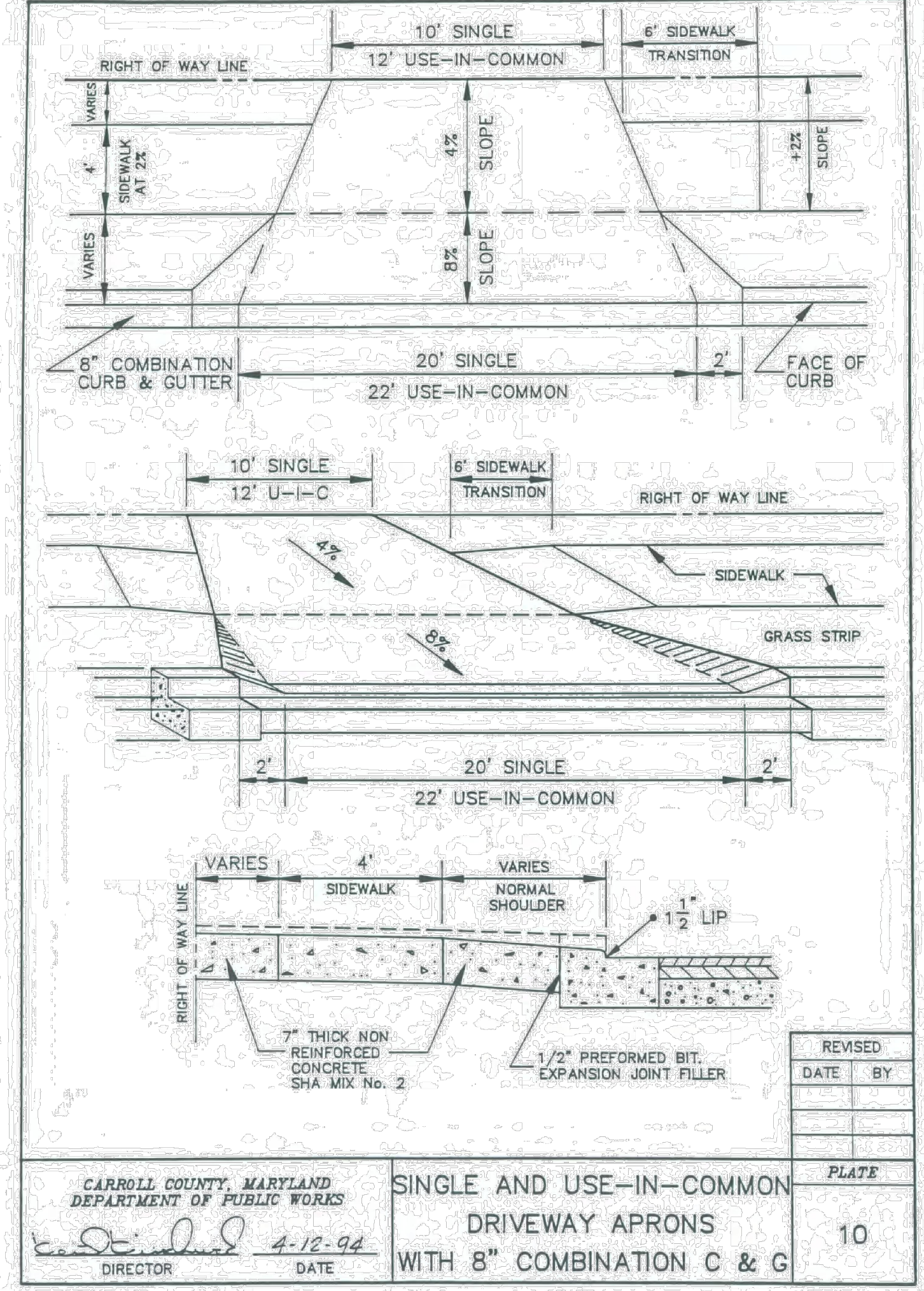
- TO BE USED WHERE AT LEAST 7'-0" EXISTS BEHIND THE BACK OF CURB AND THE BACK OF SIDEWALK. THIS STANDARD MAY BE MODIFIED TO SUIT A PARTICULAR LOCATION.
- WHERE 60" SIDEWALK CAN NOT BE PROVIDED, A DESIGN WAIVER MUST BE REQUESTED.
- NO TRAVERSABLE SLOPE ON THE RAMP OR SIDEWALK SHALL EXCEED 1:21 IN THE DIRECTION OF PEDESTRIAN TRAVEL, OR 48:1 PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
- SIDEWALK JOINT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH STD. MD-655-01.
- SIDEWALK RAMP TO BE SHOWN ON PLANS SYMBOLICALLY AND REFERENCED WITH THE CENTER OF THE RAMP ALIGNED TO A STATION ON THE CONSTRUCTION CENTERLINE. SEPARATE DETAILS SHALL BE SHOWN WHERE PROPOSED RAMP VARIES FROM STANDARD CASES.
- FOR BUFFER WIDTHS LESS THAN 24", WIDER SIDEWALK TO BACK OF CURB AS SHOWN FOR THE SPECIAL CASE, THEN BUILD PARALLEL RAMP USING STANDARD MD-655-12.
- TRANSITION PANELS TO TIE INTO EXISTING SIDEWALK MUST BE A MINIMUM OF 5' IN LENGTH.
- IF THE BUFFER AREA IS GREATER THAN OR EQUAL TO 4' THE LANDING AREA MUST BE 2X X 2X. IF THE BUFFER AREA IS LESS THAN 4' THE LANDING AREA CROSS-SLOPE CANNOT EXCEED THE GRADE OF THE ROAD.

SPECIFICATION 603 & 611	CATEGORY CODE ITEMS	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES SIDEWALK RAMPS COMBINATION STANDARD NO. MD 655.13
APPROVED	DIRECTOR - OFFICE OF HIGHWAY DEVELOPMENT	
APPROVAL	APPROVAL	APPROVAL
APPROVAL	APPROVAL	APPROVAL
REVISION	REVISION	REVISION
REVISION	REVISION	REVISION



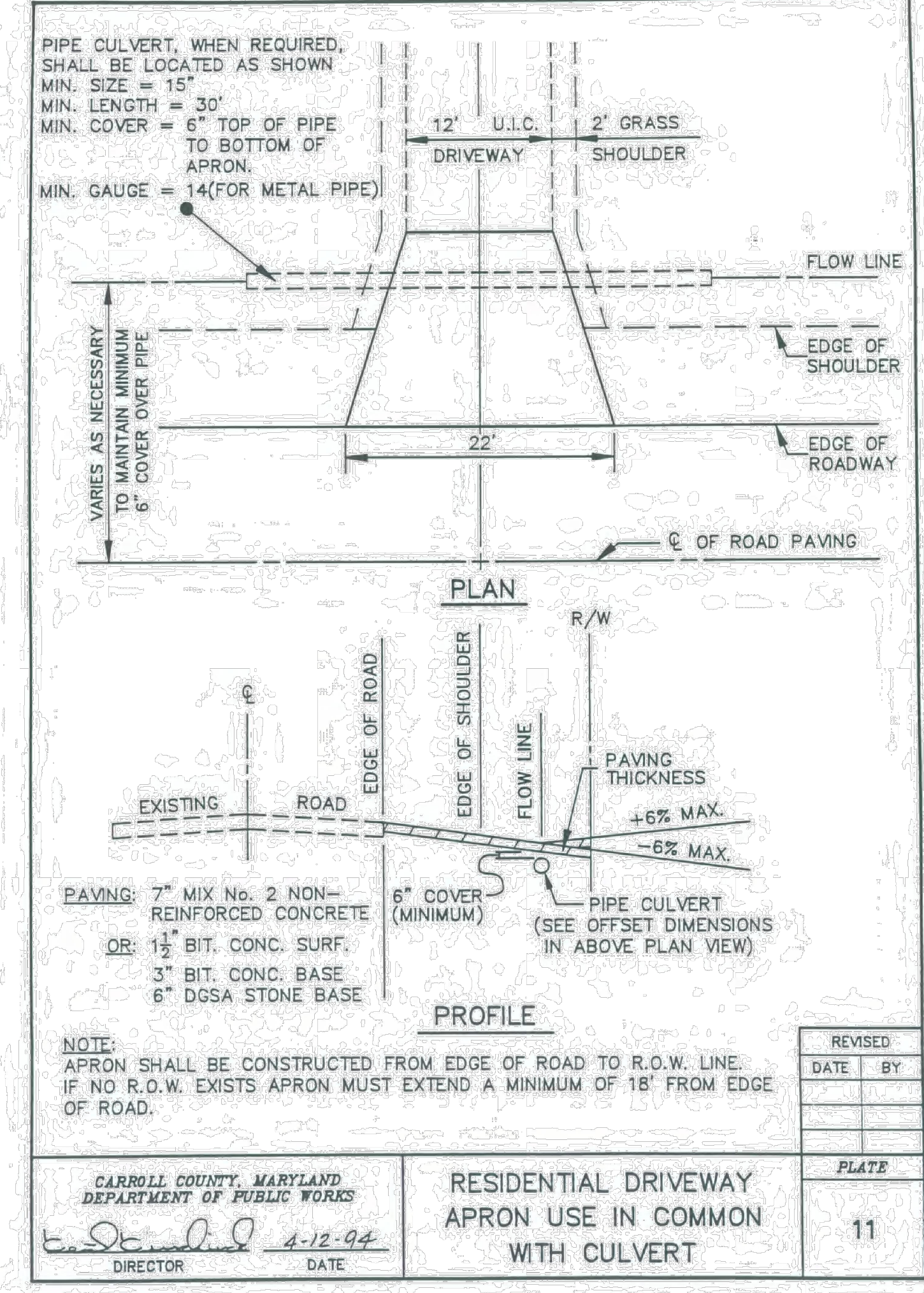
REVISION	DATE	BY

CARROLL COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS	TEMPORARY "T" TURNAROUNDS	PLATE 28
DIRECTOR	DATE	



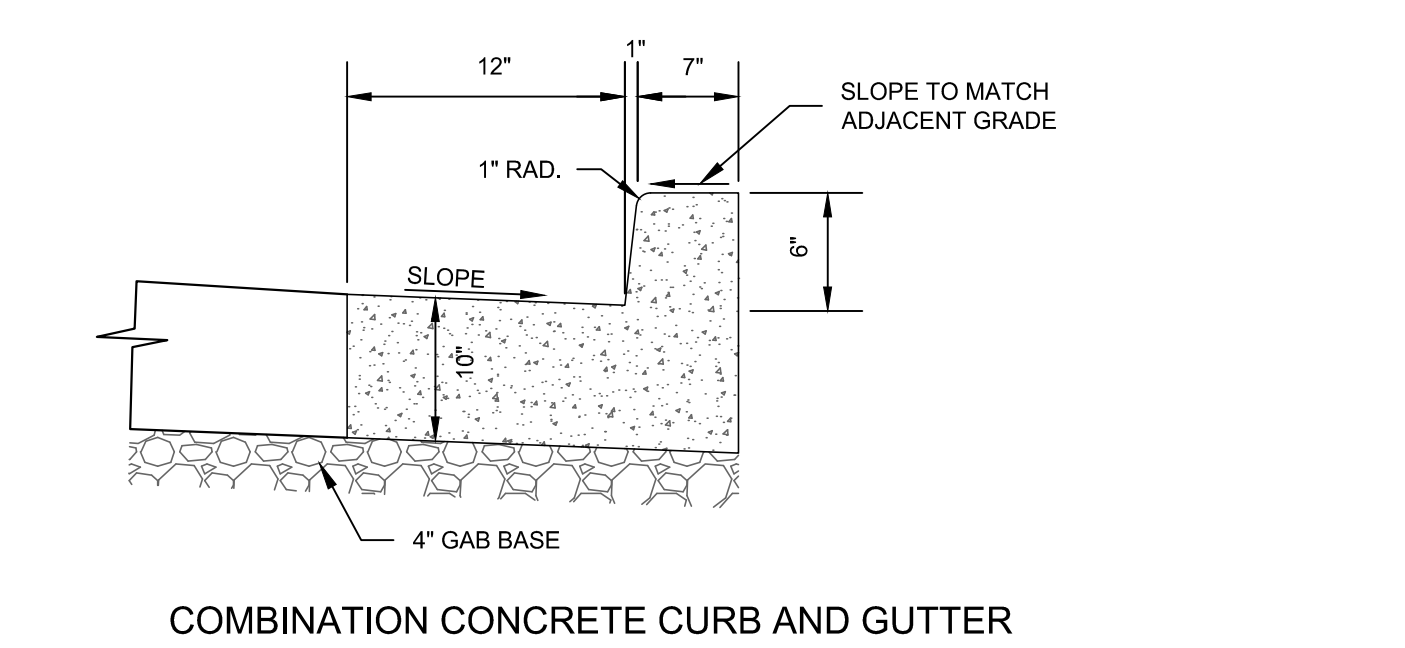
REVISION	DATE	BY

CARROLL COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS	SINGLE AND USE-IN-COMMON DRIVEWAY APRONS WITH 8" COMBINATION C & G	PLATE 10
DIRECTOR	DATE	



REVISION	DATE	BY

CARROLL COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS	RESIDENTIAL DRIVEWAY APRON USE IN COMMON WITH CULVERT	PLATE 11
DIRECTOR	DATE	

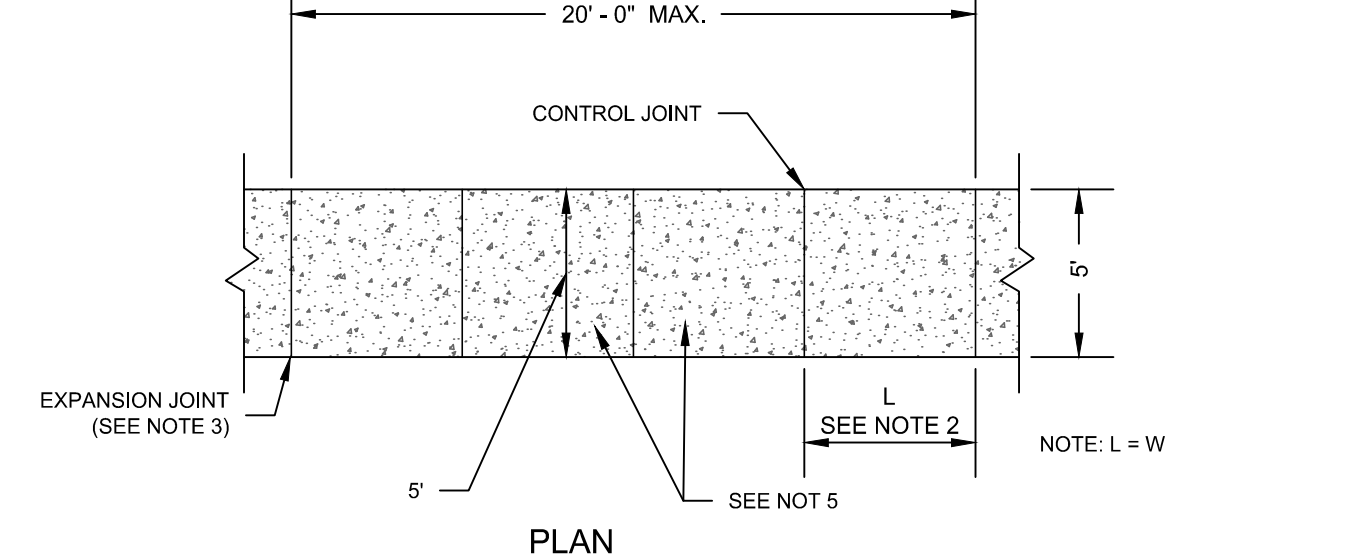


COMBINATION CONCRETE CURB AND GUTTER

GENERAL NOTES:

- REFER TO LOCAL SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
- GUTTER PAN SLOPE AND DIRECTION EQUAL TO THAT OF ADJOINING PAVEMENT GRADE (4% MAX).

CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE

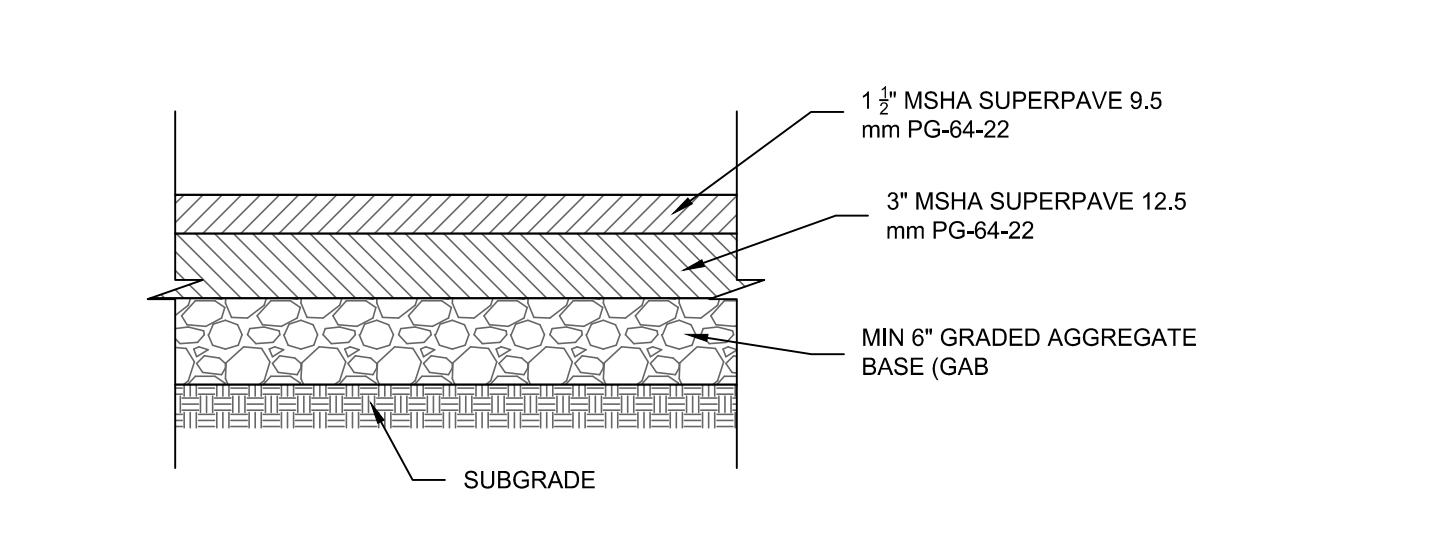


CONCRETE SIDEWALK DETAIL
NOT TO SCALE

NOTES

- ALL CONCRETE SHALL BE 6% AIR-ENTRAINED, 3000 P.S.I. SHA MIX NO. 2, DEPTH SHALL BE 4".
- PROVIDE SCORED CONTROL JOINTS EVERY 4'-0" MIN. BOTH DIRECTIONS.
- PROVIDE 1/2" EXPANSION JOINT EVERY 20' O/C MAX. MARK EXPANSION/CONTRACTION JOINTS FOR SIDEWALK WIDTHS 4'-0" TO 8'-0". IF "W" IS 8'-0" OR GREATER, ADD ADDITIONAL LONGITUDINAL EXPANSION JOINT AT CENTERLINE OF SIDEWALK.
- PROVIDE 1/2" EXPANSION JOINT SEALANT WHERE SIDEWALK ABUTS CURB OR OTHER RIGID STRUCTURE(S).
- ALL BROOM FINISH STROKES IN CONCRETE SIDEWALK TO BE PERPENDICULAR TO EDGES OF CONCRETE. DO NOT ALTERNATE PATTERN.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE



**USE IN COMMON DRIVEWAY
BITUMINOUS CONCRETE PAVING SECTION**
NOT TO SCALE

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CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

SITE DETAILS

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

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LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: P-23-0055
PROJECT NUMBER: 00211253.004A

12 of 19



BENNETT ROAD (PUBLIC)

OLD PRIVATE

MATCHLINE FOR

CONTINUATION SEE SHEET 14

PLAN

SCALE: 1"=50'



SCALE: 1"=50'

H-5 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

- Definition**
Controlling the suspension of dust particles from construction activities.
- Purpose**
To prevent blowing and movement of dust from exposed soil surfaces to reduce on and off-site damage including health and traffic hazards.
- Conditions Where Practice Applies**
Areas subject to dust blowing and movement where on and off-site damage is likely without treatment.
- Specifications**
- Mulches:** See Section B-4-2 Soil Preparation, Topsoiling, and Soil Amendments, Section B-4-3 Seeding and Mulching, and Section B-4-4 Temporary Stabilization. Mulch must be anchored to prevent blowing.
 - Vegetative Cover:** See Section B-4-4 Temporary Stabilization.
 - Tillage:** Till to roughen surface and bring clods to the surface. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect.
 - Irrigation:** Sprinkle site with water until the surface is moist. Repeat as needed. The site must not be irrigated to the point that runoff occurs.
 - Barriers:** Solid board fences, silt fences, snow fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing.
 - Chemical Treatment:** Use of chemical treatment requires approval by the appropriate plan review authority.

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2560 LORD BALTIMORE DRIVE
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CONTACT: MATT TAYLOR
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P-23-0055

DATE	BY	REVISIONS



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CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

EROSION AND SEDIMENT CONTROL PLAN

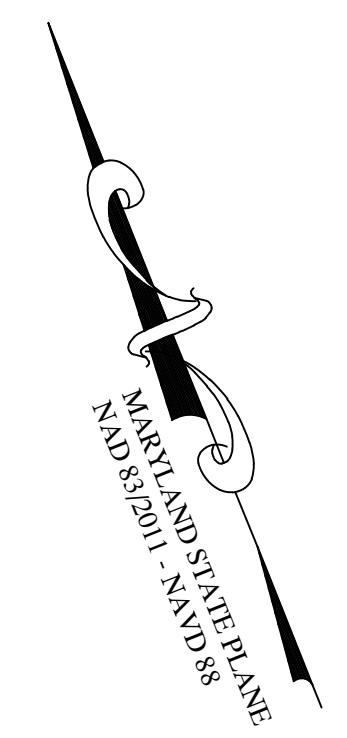
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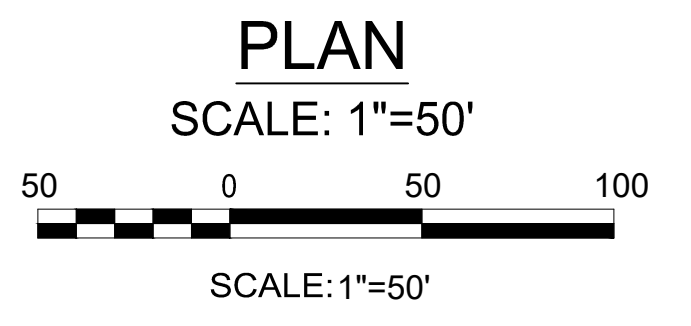
MATCHLINE FOR CONTINUATION SEE SHEET 13



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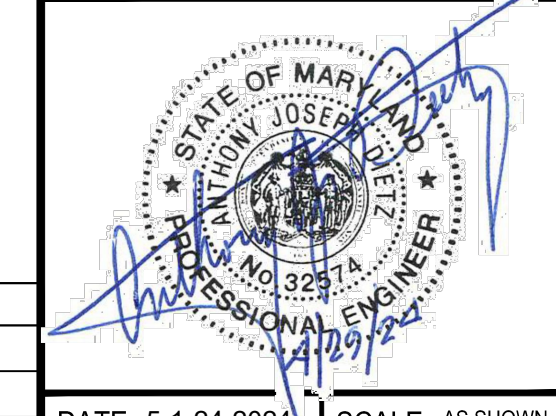


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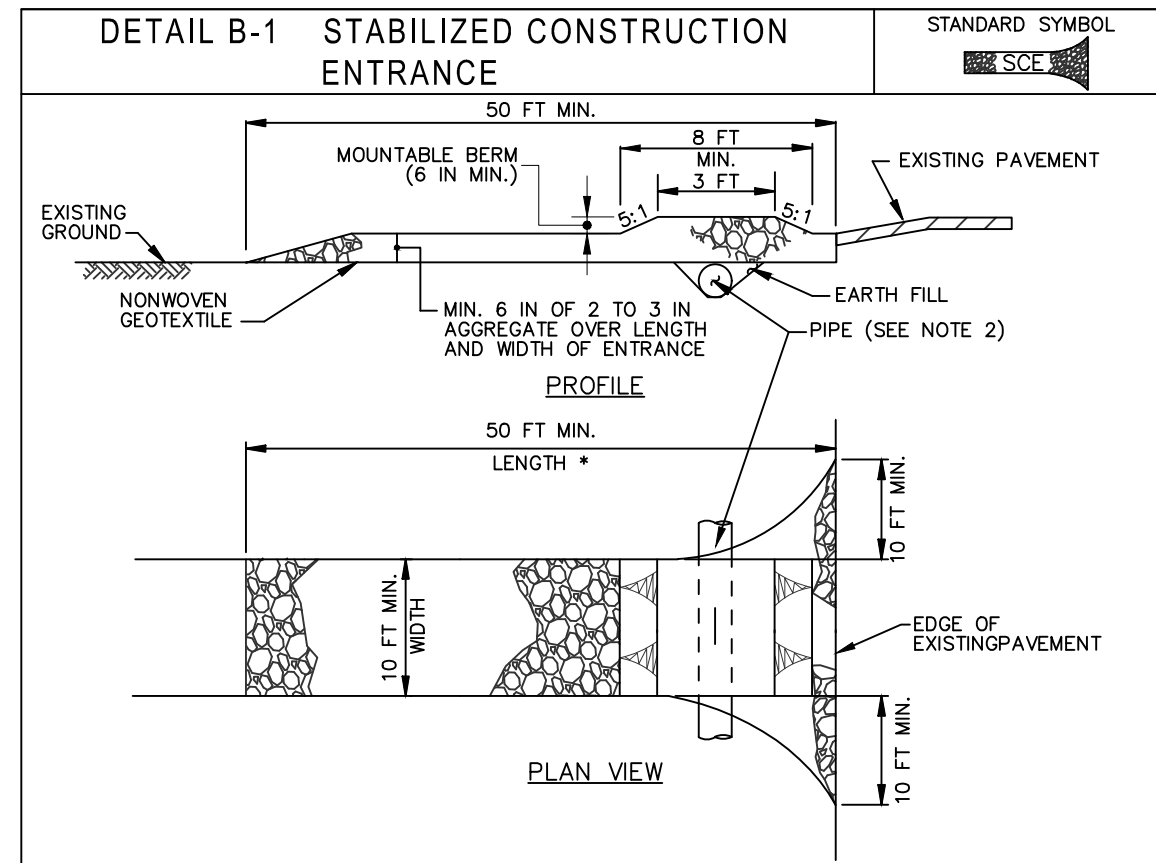
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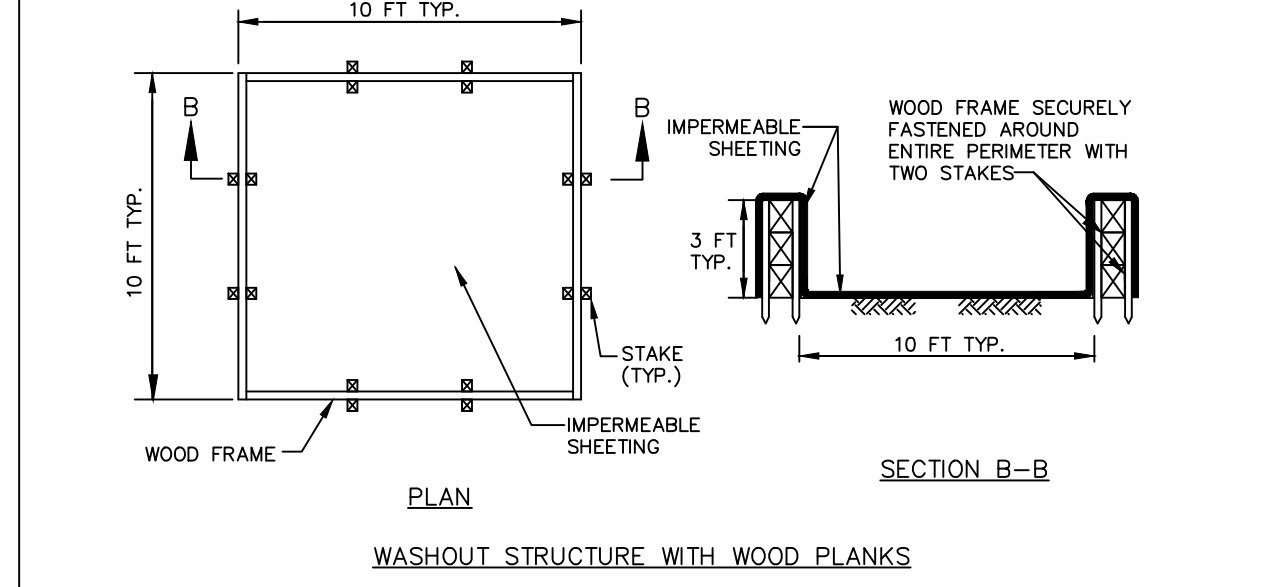
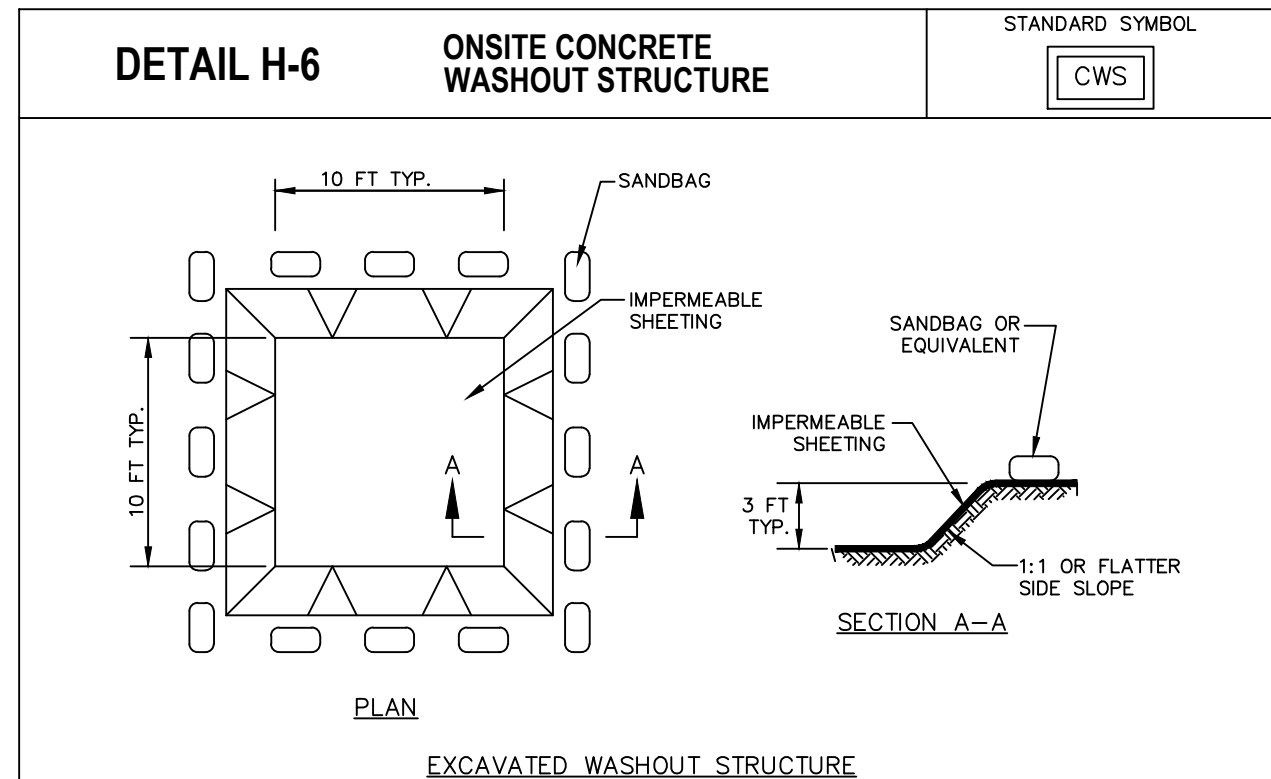
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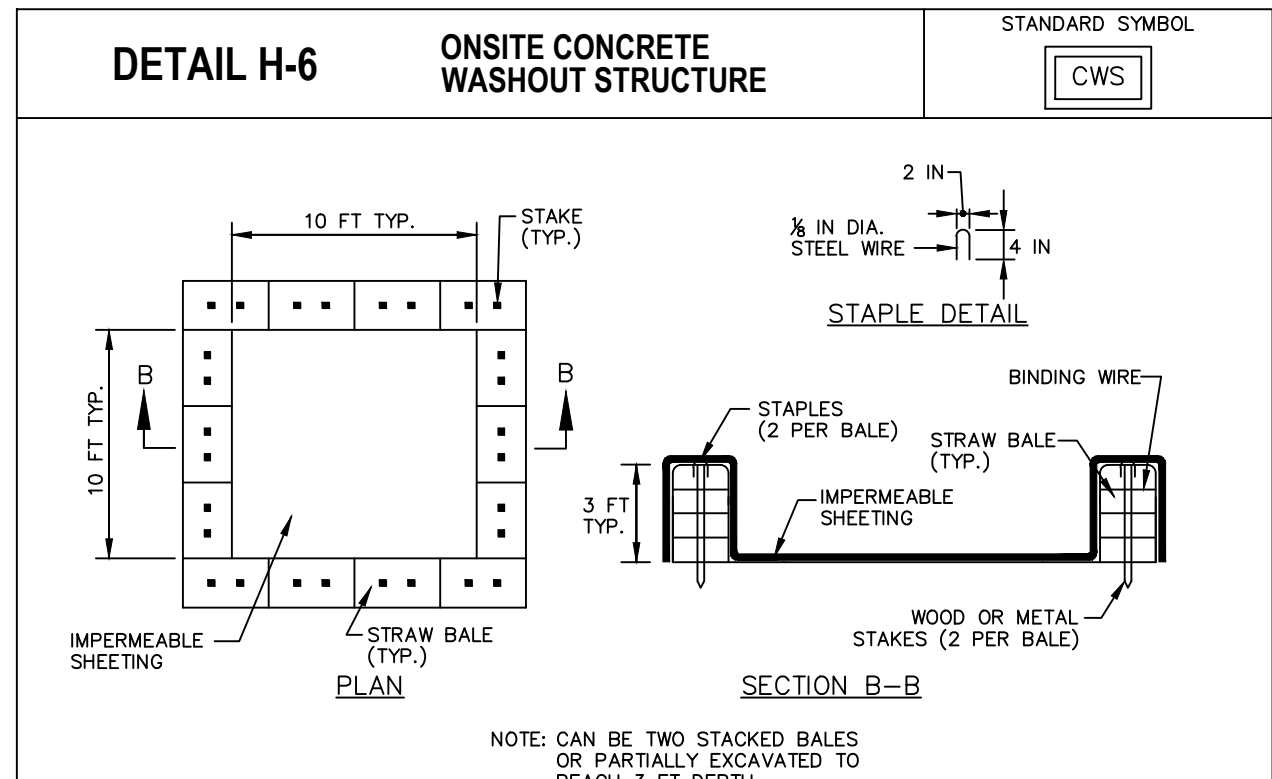


- CONSTRUCTION SPECIFICATIONS**
- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
 - PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
 - PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
 - MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

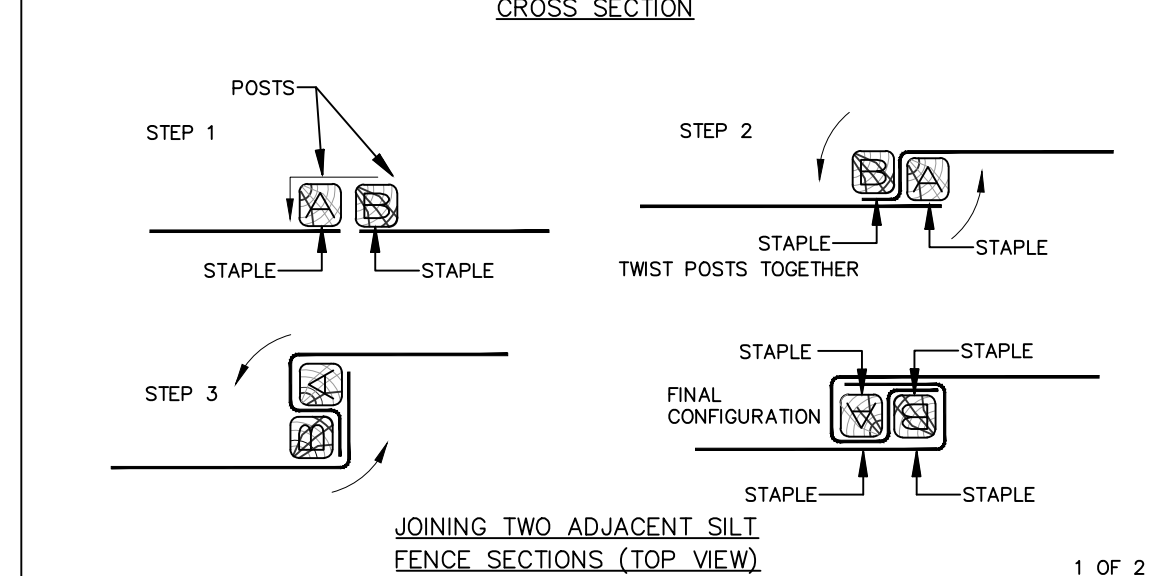
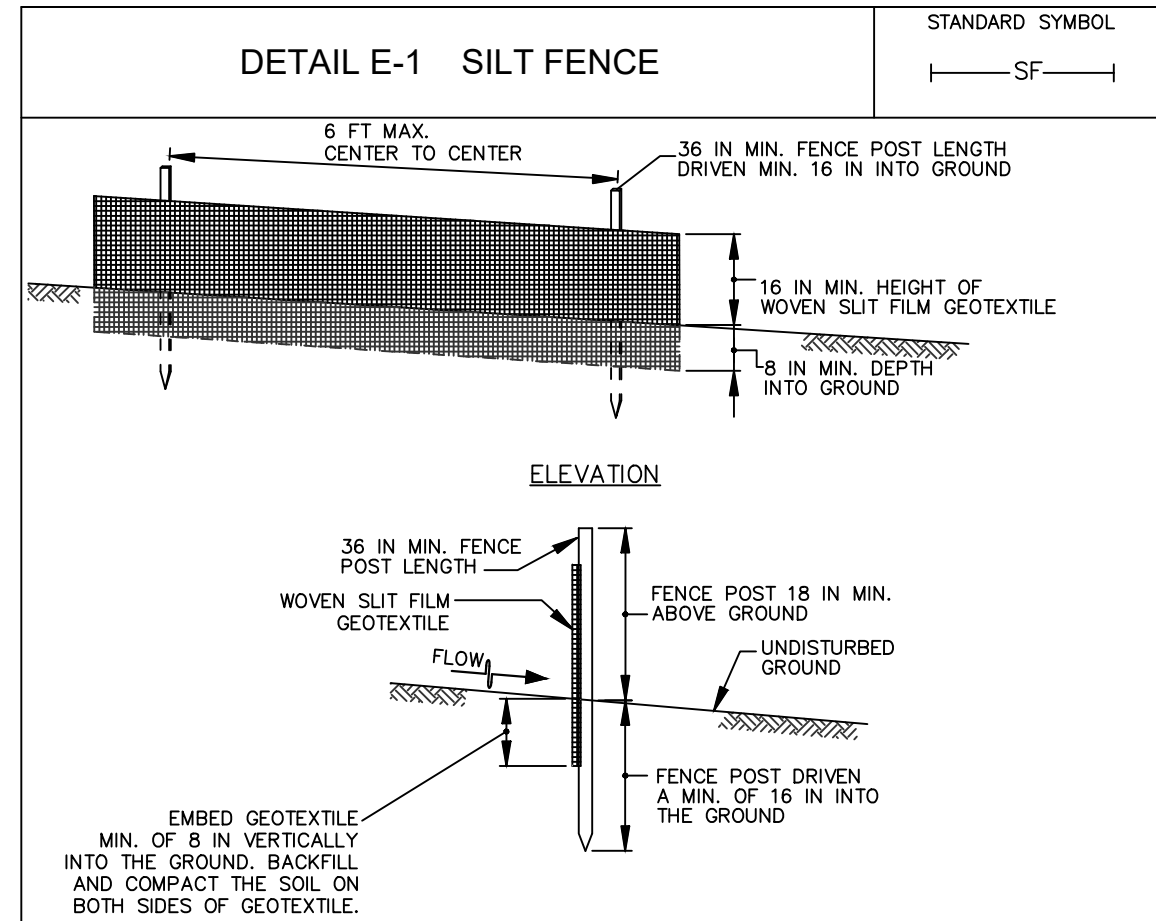


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U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



- CONSTRUCTION SPECIFICATIONS**
- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
 - SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
 - PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 - PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 - KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

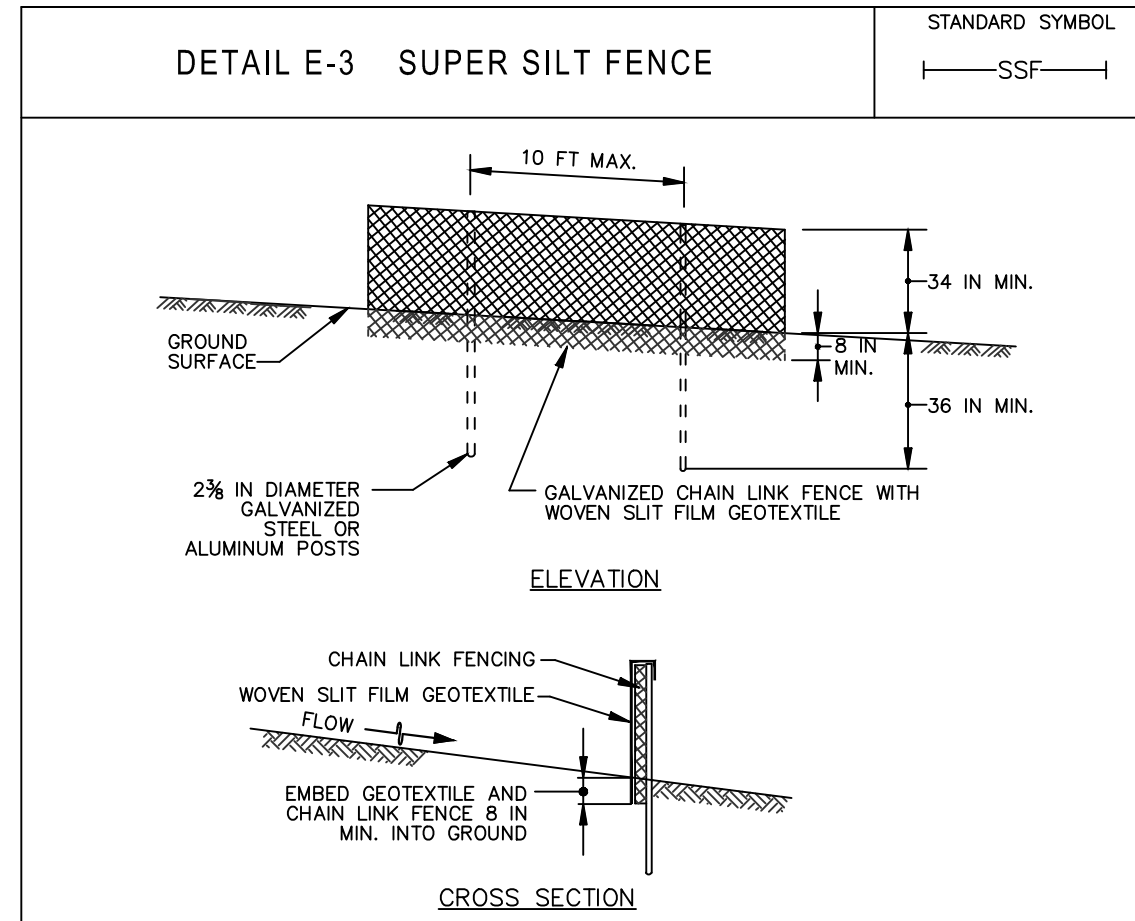
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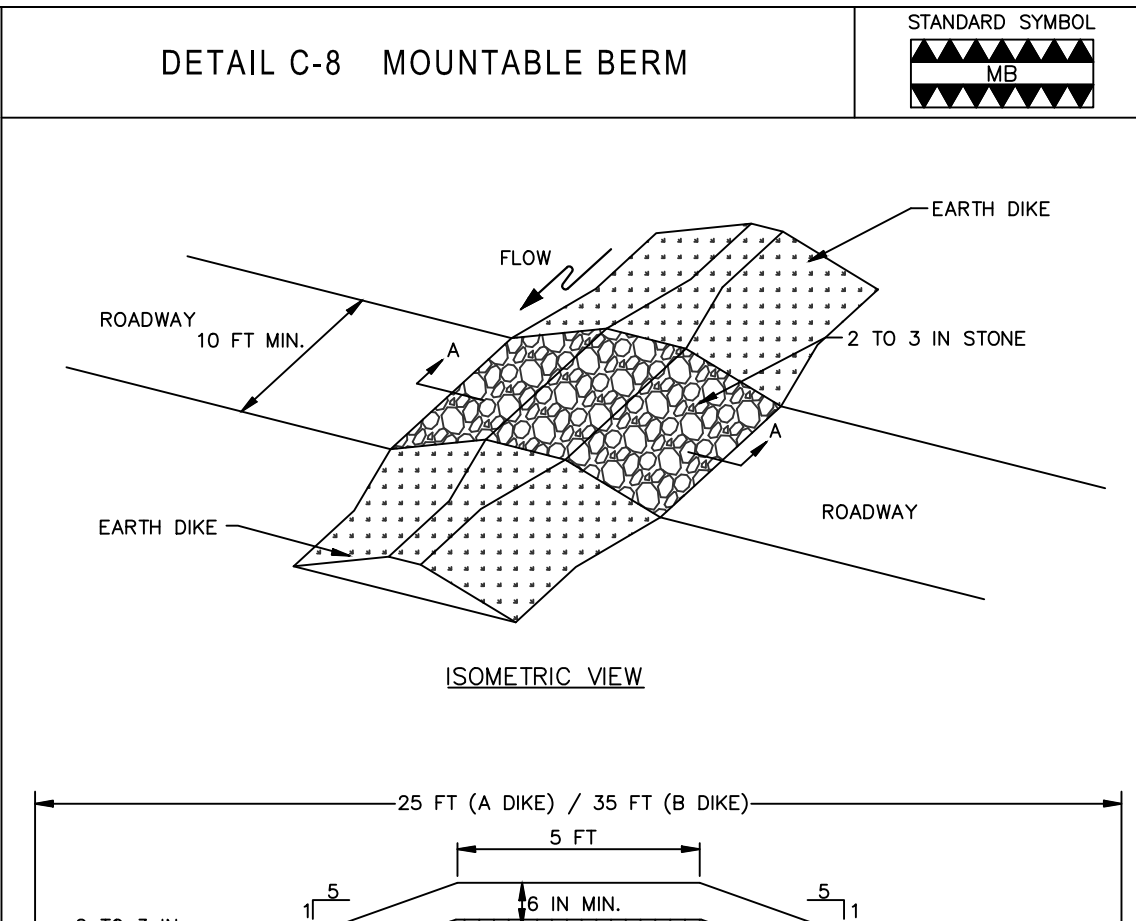
- CONSTRUCTION SPECIFICATIONS**
- USE WOOD POSTS 1 1/2 X 1 1/2 X 1/2 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
 - USE 3/8 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
 - USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
 - PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 - EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
 - WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
 - EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
 - REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



- CONSTRUCTION SPECIFICATIONS**
- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
 - FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
 - FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
 - WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
 - EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
 - PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 - REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



- CONSTRUCTION SPECIFICATIONS**
- USE MINIMUM WIDTH OF 10 FEET TO ALLOW FOR VEHICULAR PASSAGE.
 - PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE EARTH MOUND PRIOR TO PLACING STONE.
 - PLACE 2 TO 3 INCH STONE OR EQUIVALENT RECYCLED CONCRETE AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE MOUNTABLE BERM.
 - MAINTAIN LINE, GRADE, AND CROSS SECTION. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN SPECIFIED DIMENSIONS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

- DATA SOURCES**
- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
 - EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
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CENTURY ENGINEERING
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Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

**EROSION AND SEDIMENT CONTROL
DETAILS AND SPECIFICATIONS**

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: 15 of 19
PROJECT NUMBER: 00211253.004A

OWNER
LONG MEADOW FARM 21784 LLC
741 KLEES MILL RD
WESTMINSTER, MD 21157
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

DATE	BY	REVISIONS

T:\2021\Facilities\00211253.001A Beauty Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253.004A (C-15) ESC Details and Specs.dwg May 02, 2024 5:21pm rlangreir

B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION
Using vegetation as cover to protect exposed soil from erosion.

PURPOSE
To promote the establishment of vegetation on exposed soil.

CONDITIONS WHERE PRACTICE APPLIES
On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

EFFECTS ON WATER QUALITY AND QUANTITY
Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemical carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING, AND VEGETATIVE ESTABLISHMENT.

ADEQUATE VEGETATIVE ESTABLISHMENT
Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

- Adequate vegetative stabilization requires 95 percent groundcover.
- If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
- If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
- Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION

DEFINITION
Establishment of vegetative cover on cut and fill slopes.

PURPOSE
To provide timely vegetative cover on cut and fill slopes as work progresses.

CONDITIONS WHERE PRACTICE APPLIES
Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

CRITERIA

A. Erosion Stabilization - Cut Slopes

- Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
- Construction sequence example (Refer to Figure B.1):
 - Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
 - Perform Phase 1 excavation, prepare seedbed, and stabilize.
 - Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
 - Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

NOTE: ONCE EXCAVATION HAS BEGUN, THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

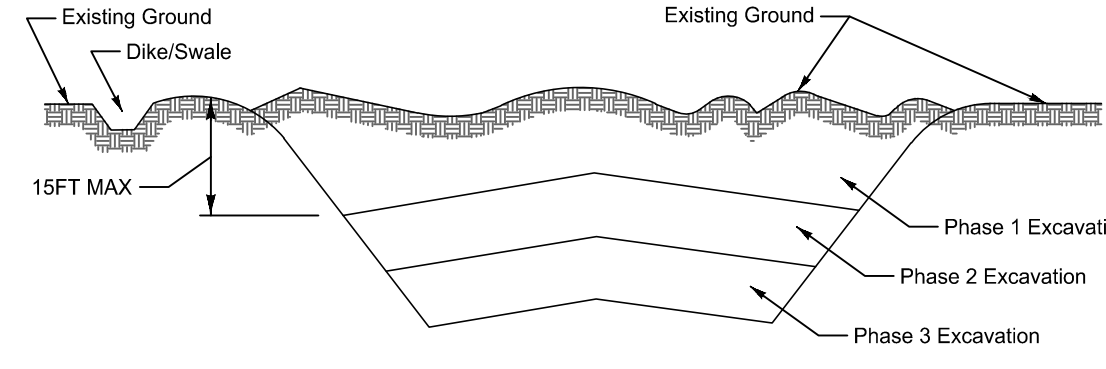


Figure B.1: Incremental Stabilization - Cut

B. Incremental Stabilization - Fill Slopes

- Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
- Stabilize slopes immediately when the vertical height of a lift reaches 15 feet or when the grading operation ceases as prescribed in the plans.
- At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
- Construction sequence example (Refer to Figure B.2):
 - Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
 - At the end of the day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
 - Place Phase 1 fill, prepare seedbed, and stabilize.
 - Place Phase 2 fill, prepare seedbed, and stabilize.
 - Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN, THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

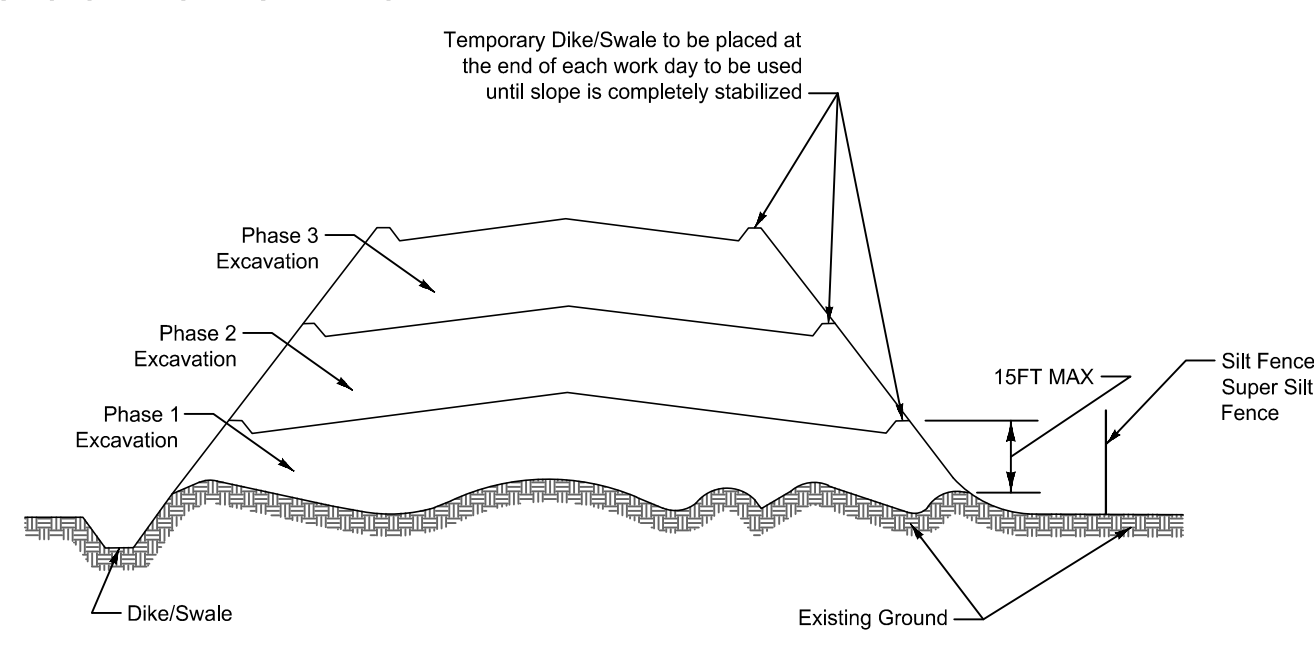


Figure B.2: Incremental Stabilization - Fill

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION
The process of preparing the soils to sustain adequate vegetative stabilization.

PURPOSE
To provide a suitable soil medium for vegetative growth.

CONDITIONS WHERE PRACTICE APPLIES
Where vegetative stabilization is to be established.

CRITERIA

A. Soil Preparation

- Temporary Stabilization
 - Seed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After soil is loosened, it must not be rolled or dragged smooth but left in roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
 - Apply fertilizer and lime as prescribed on the plans.
 - Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
- Permanent Stabilization
 - A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
 - Soil pH between 6.0 to 7.0.
 - Soluble salts less than 500 parts per million (ppm).
 - Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lowgrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
 - Soil contains 1.5 percent minimum organic matter by weight.
 - Soil contains sufficient pore space to permit adequate root penetration.
 - Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
 - Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
 - Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
 - Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

B. Topsoiling

- Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in representative soil profile section in the Soil Survey published by USDA-NRCS.
- Topsoiling is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant material.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- Areas having slopes steeper than 2:1 require special consideration and design.
- Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
 - Topsoil must be a loam, sandy loam, clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.
 - Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
 - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
- Topsoil Application
 - Erosion and sediment control practices must be maintained when applying topsoil.
 - Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
 - Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

C. Soil Amendments (Fertilizer and Lime Specifications)

- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
- Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
- Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
- Where the subsoil is either highly acidic or composed of heavy clay, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREAS

DEFINITION
A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

PURPOSE
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

CONDITIONS WHERE PRACTICE APPLIES
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

CRITERIA

A. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.

B. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.

C. Runoff from the stockpile area must drain to a suitable sediment control practice.

D. Access the stockpile area from the upgrate side.

E. Clear water runoff into the stockpile area must be minimized by use of a diversion fence such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.

F. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.

G. Stockpiles must be stabilized in accordance with the 3:1 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.

H. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

MAINTENANCE

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

Table B.6: Maintenance Fertilization for Permanent Seeding

Seeding Mixture	Type	lb/ac	lb/1000 sf	Time	Mowing
Tall fescue makes up 70 percent or more of cover.	10 - 10 - 10 or 30 - 10 - 10	500	400	11.5 9.2	Yearly or as needed. Fall. Not closer than 3 inches, if occasional mowing is desired.
Birdsfoot Trefoil.	0 - 20 - 0	400	400	9.2	Spring, the year following establishment, and every 5 years, thereafter. Not required, no closer than 2 inches.
Fairly uniform stand of tall fescue or birdsfoot trefoil.	5 - 10 - 10	500	500	11.5	Fall, the year following establishment, and every 4 to 5 years, thereafter. Not required, no closer than 4 inches in the fall after seed has matured.
Weeping lovegrass fairly uniform plant distribution.	5 - 10 - 10	500	500	11.5	Spring, the year following establishment, and every 3 to 4 years, thereafter. Not required, not closer than 4 inches in fall after seed has matured.
Red & chewings fescue, Kentucky bluegrass, hard fescue mixtures.	20 - 10 - 10	250	100	5.8 2.3	September, 30 days later. December, May 20, June 30, if needed. Mow no closer than 2 inches for red fescue and Kentucky bluegrass, 3 inches for fescue.

B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION
Using vegetation as cover to protect exposed soil from erosion.

PURPOSE
To promote the establishment of vegetation on exposed soil.

CONDITIONS WHERE PRACTICE APPLIES
On all disturbed areas not stabilized by other methods. This specification is divided into sections

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION
The application of seed and mulch to establish vegetative cover.

PURPOSE
To protect disturbed soils from erosion during and at the end of construction.

CONDITIONS WHERE PRACTICE APPLIES
To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

CRITERIA

A. Seeding

- Specifications
 - All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
 - Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
 - Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package, use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
 - Soil and seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
- Application
 - Dry seeding: This includes use of conventional drop or broadcast spreaders.
 - Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
 - Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
 - Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
 - Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/2 inch of soil covering. Seedbed must be firm after planting.
 - Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
 - Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
 - If fertilizer is being applied at the time of seeding, the application rates should be as follows: nitrogen, 100 pounds per acre total soluble nitrogen; P₂O₅ (phosphorus), 200 pounds per acre; K₂O (potassium), 200 pounds per acre.
 - Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
 - Mix seed and fertilizer on site and seed immediately and without interruption.
 - When hydroseeding, do not incorporate into the soil.

B. Mulching

- Mulch Materials (in order of preference)
 - Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonable bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland See Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
 - Wood Cellulose Fiber Mulch (WCFFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
 - WCFFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
 - WCFFM, including dye, must contain no germination or growth inhibiting factors.
 - WCFFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogenous slurry, the mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
 - WCFFM material must not contain elements or compounds at concentration levels that will be phyto-toxic.
 - WCFFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.
- Application
 - Apply mulch to all seeded areas immediately after seeding.
 - When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
 - Wood cellulose fiber used as mulch must be applied at a net dry weight of 100 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
- Anchoring
 - Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
 - A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
 - Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 - Synthetic binders such as Acrylic DLR (Ago-Tack), DCA-70, Petroset, Terra Tex II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.
 - Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

DATA SOURCES

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- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
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- ENVIRONMENTAL DELINEATION PREFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
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CONCEPT MAJOR SUBDIVISION PLAN FOR R-40,000 RESIDENTIAL

EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026

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LONG MEADOW FARM 21784 LLC
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PHONE NO: 410-369-1207

DEVELOPER
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2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055

DATE	BY	REVISIONS

DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: PROJECT NUMBER: 00211253.004A

T:\2021\Facilities\00211253.001A Beatty Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253.004A (C-15) ESC Details and Specs.dwg May 02, 2024 5:21 pm rftngreir

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION
To stabilize disturbed soils with vegetation for up to 6 months.

PURPOSE
To use fast growing vegetation that provides cover on disturbed soils.

CONDITIONS WHERE PRACTICE APPLIES
Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

CRITERIA

- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If the Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
- When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch along as prescribed in Section B-4-3-A.1.1b and maintain until the next seeding season.

Temporary Seeding Summary

Hardiness Zone: 7A		Seed Mixture: N/A			Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths		
N/A	Annual Ryegrass (<i>Lolium perenne</i> ssp. <i>multiflorum</i>)	40	Feb 15 to Apr 30, Aug 15 to Nov 30	0.5 in.	436 lb/ac (10 lb/1000sf)	2 tons/ac (90 lb/1000 sf)
	Barley (<i>Hordeum vulgare</i>)	96	Feb 15 to Apr 30, Aug 15 to Nov 30	1.0 in.		
	Foxtail Millet (<i>Setaria italica</i>)	30	May 1 to Aug 14	0.5 in.		
	Pearl Millet (<i>Pennisetum glaucum</i>)	20	May 1 to Aug 14	0.5 in.		

B-4-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION

To stabilize disturbed soils with permanent vegetation.

PURPOSE

To use long-lived perennial grasses and legumes to establish permanent cover on disturbed soils.

CONDITIONS WHERE PRACTICE APPLIES

Exposed soils where ground cover is needed for 6 months or more.

CRITERIA

- Seed Mixtures
 - General Use
 - Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
 - Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
 - For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
 - For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
 - Turfgrass Mixtures
 - Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
 - Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan:
 - Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of total mixture by weight.
 - Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
 - Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
 - Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf areas. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.

NOTES:
SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

- Ideal Times of Seeding for Turf Grass Mixtures
 - Western Maryland: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)
 - Central Maryland: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)
 - Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)

- Turf areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
- If soil moisture is deficient, supply new seedlings with adequate water for plant growth (1/2 to 1 inch over 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedlings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

Permanent Seeding Summary

Hardiness Zone: 7A		Seed Mixture: Cool-Season Grass Mix			Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P ₂ O ₅	K ₂ O	
9	Tall Fescue (<i>Lolium arundinaceum</i>)	60	Feb 15 to Apr 30; Aug 15 to Oct 31; Nov 1 to Nov 30	1/2 to 1/2 in.	45 lb/ac (1 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	2 tons/ac (90 lb/ 1000 sf)
	Kentucky Bluegrass (<i>Poa pratensis</i>)	40		1/2 to 1/2 in.				
	Perennial Ryegrass (<i>Lolium perenne</i>)	20		1/2 to 1/2 in.				

Permanent Seeding Summary

Hardiness Zone: 7A		Seed Mixture: Warm-Season Grass Mix			Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P ₂ O ₅	K ₂ O	
4	Deertongue (<i>Dichanthelium clandestinum</i>)	15	Feb 15 to Apr 30; May 1 to May 20	1/2 to 1/2 in.	45 lb/ac (1 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	90 lb/ac (2 lb/ 1000sf)	2 tons/ac (90 lb/ 1000 sf)
	Creeping Red Fescue (<i>Festuca rubra</i> var. <i>rubra</i>)	20						
	Virginia Wild Rye (<i>Elymus virginicus</i>)	5						

- Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
 - General Specifications
 - Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
 - Sod must be machine cut at a uniform soil thickness of 3/4 inches, plus or minus 1/8 inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
 - Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
 - Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
 - Sod must be harvested, delivered, and installed within a period of 96 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.
 - Sod Installation
 - During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
 - Lay the first row of sod in a straight line with subsequent rows place parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
 - Whenever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
 - Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operation of laying, tamping and irrigating for any piece of sod within eight hours.
 - Sod Maintenance
 - In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
 - After the first week, sod watering is required as necessary to maintain adequate moisture content.
 - Do not mow until the sod is firmly rooted. No more than 1/2 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREAS

DEFINITION

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

PURPOSE

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

CONDITIONS WHERE PRACTICE APPLIES

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

CRITERIA

- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
- The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
- Runoff from the stockpile area must drain to a suitable sediment control practice.
- Access the stockpile area from the upgrade side.
- Clear water runoff into the stockpile area must be minimized by use of a diversion fence such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
- Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
- Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
- If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

MAINTENANCE

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

Table B.6: Maintenance Fertilization for Permanent Seeding

Seeding Mixture	Type	lb/ac	lb/1000 sf	Time	Mowing	
Tall fescue makes up 70 percent or more of cover.	10 - 10 - 10 or 30 - 10 - 10	500	400	11.5	Yearly or as needed, Fall	Not closer than 3 inches, if occasional mowing is desired.
Birdsfoot Trefoil.	0 - 20 - 0	400	9.2	Spring, the year following establishment, and every 4 to 5 years, thereafter.	Mow no closer than 2 inches.	
Fairly uniform stand of tall fescue or birdsfoot trefoil.	5 - 10 - 10	500	11.5	Fall, the year following establishment, and every 4 to 5 years, thereafter.	Not required, no closer than 4 inches in the fall after seed has matured.	
Weeping lovegrass fairly uniform plant distribution.	5 - 10 - 10	500	11.5	Spring, the year following establishment, and every 3 to 4 years, thereafter.	Not required, not closer than 4 inches in fall after seed has matured.	
Red & chewings fescue, Kentucky bluegrass, hard fescue mixtures.	20 - 10 - 10	250	100	5.8	2.3 September, 30 days later; December, May 20, June 30, if needed.	Mow no closer than 2 inches for red fescue and Kentucky bluegrass, 3 inches for fescue.

DATA SOURCES

- EXISTING TOPOGRAPHY AND STRUCTURES SHOWN HEREON OUTSIDE OF THE LIMITS OF FIELD RUN TOPOGRAPHY ARE FROM CARROLL COUNTY GIS.
- EXISTING TOPOGRAPHY FROM FIELD RUN SURVEY BY MTPLS LAND SURVEYORS, LLC, DATED NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN HEREON IS FROM FIELD LOCATION PERFORMED BY MTPLS LAND SURVEYORS, LLC, NOVEMBER 2021.
- COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE COORDINATE SYSTEM (NAD 83/2011, NAVD 88)
- DOWNSTREAM CONDITIONS TAKEN FROM THE "OAK CREEK FLOODPLAIN STUDY" DATED SEPT 2009.
- ENVIRONMENTAL DELINEATION PERFORMED BY ECO SCIENCE PROFESSIONALS NOVEMBER 2021.

CENTURY ENGINEERING
A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

CONCEPT MAJOR SUBDIVISION PLAN FOR R-40,000 RESIDENTIAL
EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS
ELDERSBURG PRESERVE
BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 32574
EXPIRATION DATE: 1-16-2026
DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: 17 of 19
PROJECT NUMBER: 00211253.004A

OWNER
LONG MEADOW FARM 21784 LLC
741 KLEES MILL RD
WESTMINSTER, MD 21157
PHONE NO: 410-369-1207

DEVELOPER
ST. JOHN PROPERTIES, INC.
2560 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
CONTACT: MATT TAYLOR
PHONE NO: 410-369-1207

P-23-0055

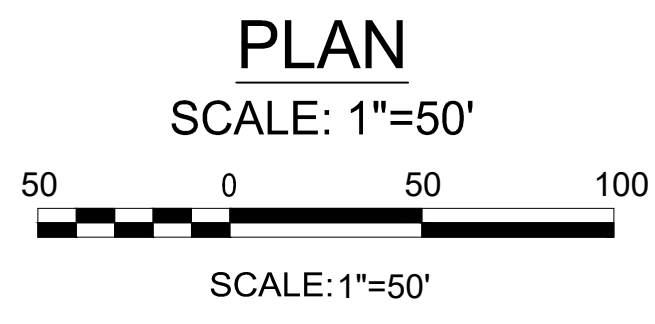
DATE	BY	REVISIONS

T:\2021\Facilities\002.11253.001A Beatty Property\CIVIL\CADD\Drawings\Concept Northern Single Family\002.11253.004A (C-18) Landscape Plan.dwg May 02, 2024 5:22pm rlangrehr



LEGEND

- Property line
- Adjoiner Property line
- Existing Easement line
- Existing Field Run Major Contour
- Existing Field Run Minor Contour
- Existing Soils Limits
- Existing Sanitary Sewer Line With Manhole
- Existing Pavement Edge
- Existing Curb & Gutter
- Existing Sidewalk
- Existing Structure
- Existing Treeline
- Existing Wood Fence
- Proposed Major Contour
- Proposed Minor Contour
- Proposed Curb & Gutter
- Proposed Sidewalk
- Proposed Structure
- Proposed Shade Tree
- Proposed Flowering Tree
- Proposed Evergreen Tree
- Proposed Shrubs



LANDSCAPE SCREENING REQUIREMENTS LEGEND

(A) Rear / Side Yards Adjacent to Streets, Class 'A' Screening: 15' Landscape Area Planted at 1 PU / 20 LF

LANDSCAPE REQUIREMENTS PER CARROLL COUNTY LANDSCAPE MANUAL, APRIL 2013

SECTION	REQUIREMENT	BASIS	CREDIT	REQUIRED PUs	PROVIDED PUs
1.B.1	REAR/SIDE YARDS ADJACENT TO STREETS, CLASS 'A' SCREENING: 15' LANDSCAPE AREA (1 PU / 20 LF)	402 LF	0 LF	402 / 20 = 20.1 PU	22.0 PU
	CLASS C SCREENING BETWEEN SINGLE-FAMILY RESIDENTIAL AND OTHER USES, 15' LANDSCAPE AREA (1 PU / 15 LF)	195 LF	195 LF	0 / 15 = 0 PU	0 PU
	TOTAL			20.1 PU	22.0 PU

PROPOSED PLANT UNITS

PLANT TYPE	QUANTITY	PLANT UNITS
SHADE TREE	31	1 TREE / 1 PU = 31 PU
FLOWERING TREE	8	2 TREES / 1 PU = 4 PU
EVERGREEN TREE	16	2 TREES / 1 PU = 8 PU
SHURBS	10	5 SHRUBS / 1 PU = 2 PU
		TOTAL = 45.0 PU

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DATE	BY	REVISIONS

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CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

CONCEPT LANDSCAPE PLAN

ELDERSBURG PRESERVE

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 1008
EXPIRATION DATE: 5/20/2024

DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: **18 of 19**

PROJECT NUMBER: 00211253.004A

CARROLL COUNTY LANDSCAPE SPECIFICATIONS

- All plants shall be identified in accordance with the latest Edition of Hortus Third, by "The Staff of the Hortorium".
- All nursery stock shall conform to American Association of Nurserymen, Inc., standards as described in American Standard for Nursery Stock, current ANSI Z-60.1 specifications.
- Landscape specifications shall conform to Landscape Contractors Association Specification Guidelines for Maryland, Washington, D.C., and Virginia, latest edition and Century Engineering, Inc. specifications. All nursery stock shall be planted in accordance with the procedures outlined in the guidelines.
- Three (3) inches of topsoil on all disturbed areas to be landscaped, seeded or sodded is required.
- A separate plan labeled "Landscape Plan" (may be combined with Forest Conservation Plan) is required. Landscape requirements may not be combined with the Forest Conservation Plan.

PLANTING NOTES

- Plant material substitutions will not be accepted without approval of the Landscape Architect.
- All Shrubs and groundcover areas shall be planted in continuous prepared planting beds.
- All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on plans.
- Maintain positive drainage out of planting beds at a minimum of two percent slope.
- Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction.
- The contractor shall notify Miss Utility, (800-257-7777) a minimum of three working days prior to planting and construction.
- Contractor shall test pit prior to plant installation.

IRRIGATION METHODS

- The use and maintenance of drip irrigation bags or rings around the trunks of newly-planted trees.
- Hand watering, with water sources provided through either or both of the following methods:
 - Exterior faucets on a building, located so that the farthest planting can be reached by a length of hose (100 feet recommended).
 - A quick-coupling system, with connections located so that the farthest planting can be reached by a length of hose (100 feet recommended).
 - A water tank or truck.
- An automatic irrigation system with a moisture-sensing device and/or rain shut-off switch. If using an automatic irrigation system, the following requirements shall be met:
 - All irrigation systems shall be designed to minimize vandalism.
 - Sprinklers must not over-spray onto pavement. Sprinkler and spray heads are not permitted for planting areas less than eight (8) feet in width, to prevent overspray and run-off. Other irrigation methods shall be specified in such areas.
 - Place lawn areas in a separate irrigation zone from shrub and groundcover beds so that each planting type can receive adequate irrigation without over-watering areas with lower irrigation needs.
 - Drip irrigation is recommended for shrub and groundcover beds. Drip irrigation shall be used in areas smaller than five (5) feet in any direction.
- The use of rainwater harvesting techniques combined with the use of harvested rainwater for landscape irrigation is encouraged.

NON-INVASIVE NOTE

- Non-invasive vegetation that is native or regionally appropriate for local growing conditions has been selected to promote biodiversity.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- A two year plant replacement warranty and two years of maintenance are required by the County.
- Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches before mowing.
- All curbs and walks shall be edged as needed.
- All lawn areas adjacent to building faces or structures shall be trimmed.
- A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of nitrogen per 1000 square feet in September, October, and February.
- Lime shall be applied at the rate determined by a soils report.
- It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betasan) or equal applied at the manufacturer's rate.
- A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late spring or early fall. Follow manufacturer's rates and recommendations.
- Insecticides and fungicides are recommended for insect and disease control.
- Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
- All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
- Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark.
- Permit shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect for details.
- Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas.
- Maintenance of landscape areas includes, but is not limited to weeding, mulching, mowing, trimming, pruning, edging, cultivation, seeding, fertilization, watering, pest control, and any other maintenance necessary to ensure healthy, vigorous plant growth and well-kept property condition.
- Landscaping elements such as walls and fences shall be constructed in a sound workmanlike manner with adequate support or footings and must be repaired or replaced as needed to preserve an attractive appearance and to function as intended.
- Any dead plants or plants which fail to show healthy growth must be removed and replaced within 60 days of identification of deteriorated health or notification by the County. Replacement may be delayed until the next growing season only if the 60 day period occurs during a time of year not suitable for planting.
- All replacement plants must meet the size and other characteristics of newly planted material as required in the manual.
- Trees and large shrubs must be adequately supported, when necessary to insure proper growth. Tree staking must be removed prior to final inspection, with the exception of plants replaced during the warranty period and not yet established.
- It is desirable to avoid excessive use of fertilizers and pesticides to minimize impacts on water quality. It is recommended that fertilizer application be need-based rather than as an automatic component of maintenance schedules and when appropriate, slow-release or natural fertilizers be selected over highly-soluble chemical fertilizers.
- The implementation of an Integrated Pest Management (IMP) program is recommended to prevent and treat pest problems.

STANDARDS & SPECIFICATIONS FOR PLANTING

TIMETABLE FOR PLANTING

ALL B&B AND CONTAINER PLANTING SHALL BE DONE BETWEEN MARCH 25 AND APRIL 30. FOR SPRING PLANTING, AND BETWEEN OCTOBER 15 AND DECEMBER 1 FOR FALL PLANTING.

PLANT MATERIAL

SEE PLANT LIST FOR EACH PLANTING AREA.

PLANTING SITE PREPARATION

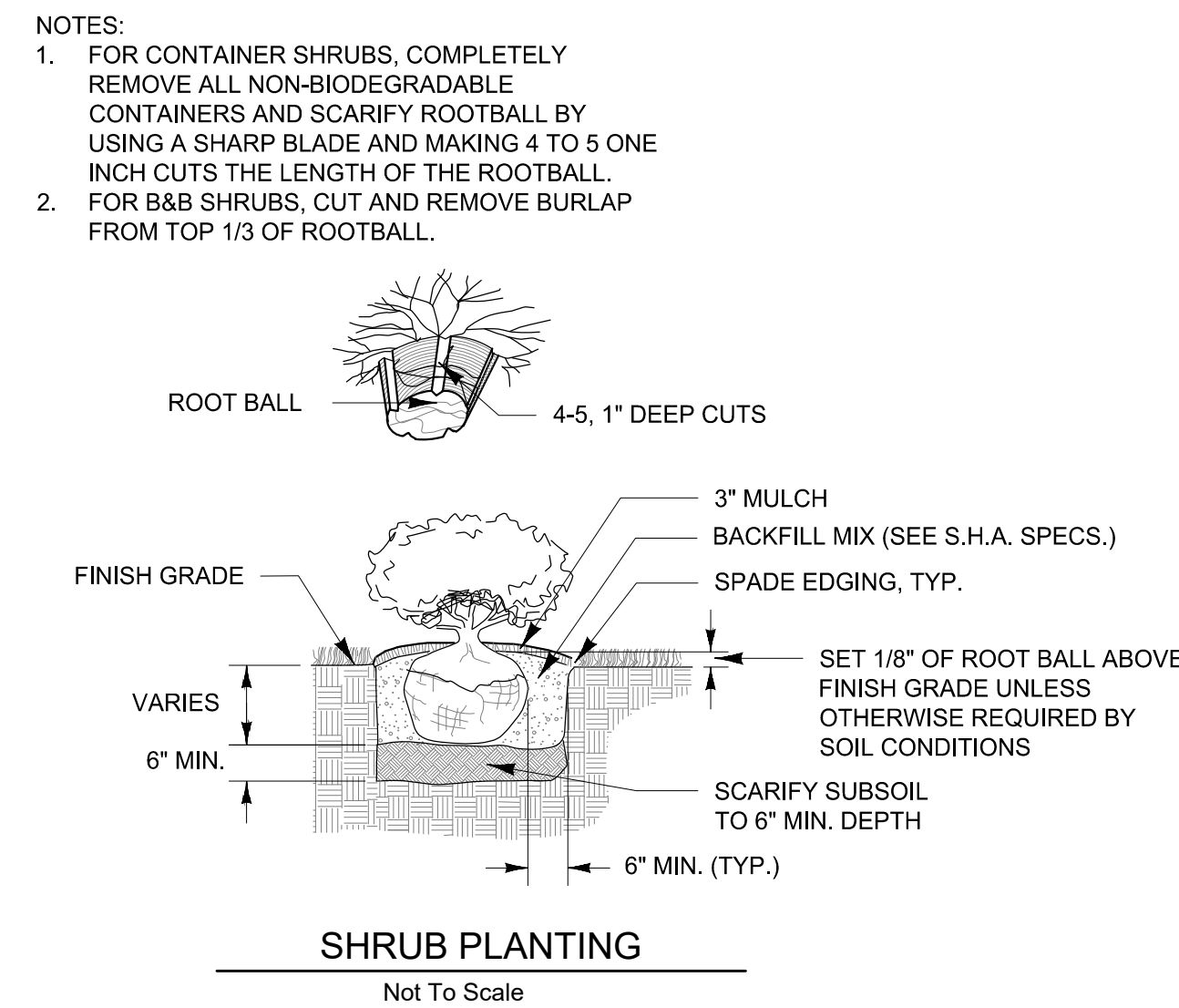
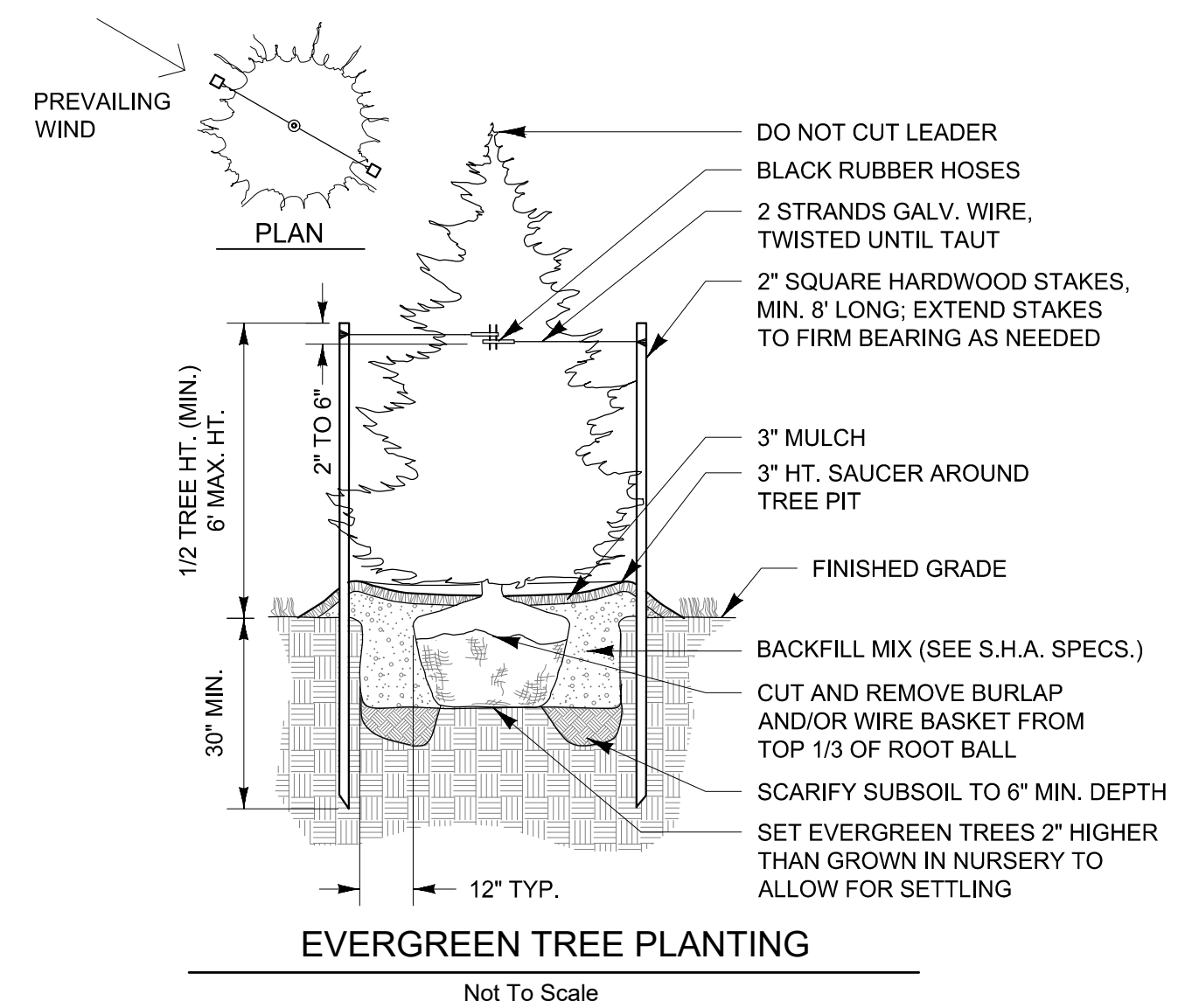
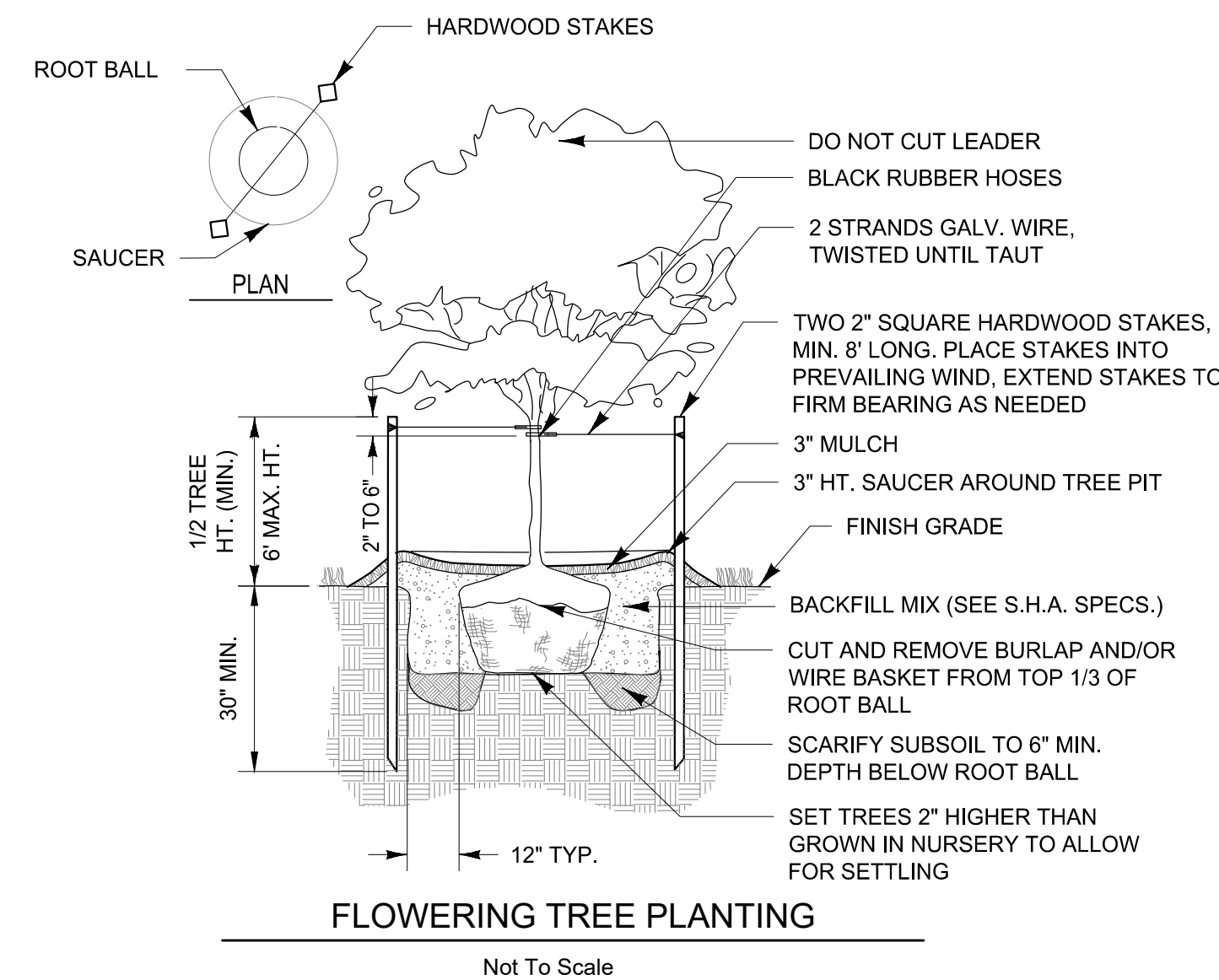
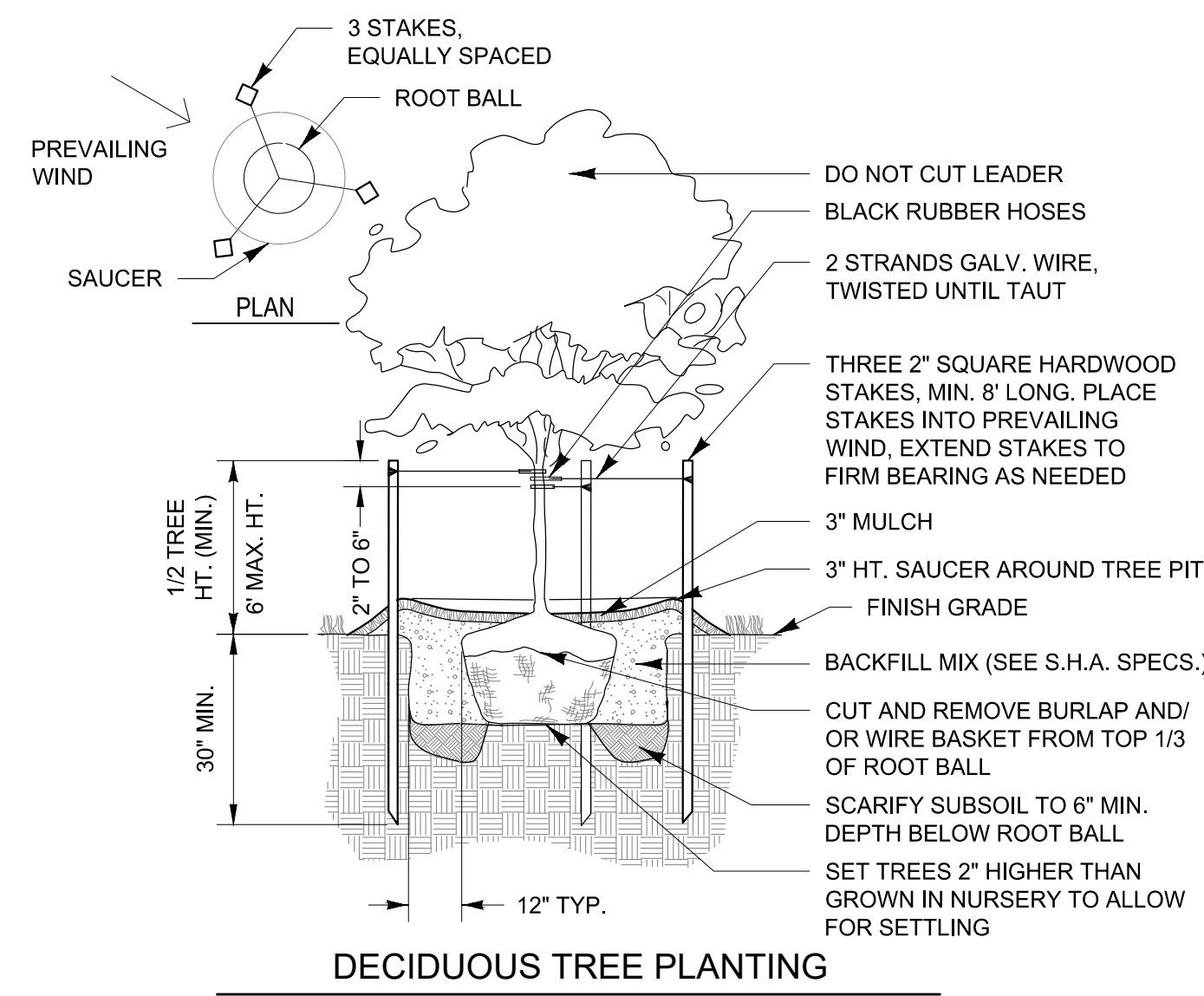
CONTRACTOR SHALL ERADICATE ALL INVASIVE PLANT MATERIAL WITHIN PLANTING AREAS PRIOR TO PLANTING. ONCE THE PLANTING AREA IS CLEAR OF INVASIVES, PREPARE A PLANTING PIT FOR EACH TREE AND SHRUB. THE AREA DISTURBED FOR THE PIT IS TO BE MULCHED WITH A SHREDDED HARDWOOD PRODUCT. SOIL TESTING IS RECOMMENDED FOR MACRONUTRIENT DEFICIENCIES AND pH LEVELS. PROPER SOIL AMENDMENTS SHOULD BE MADE IF DEEMED NECESSARY.

PLANT MATERIAL STORAGE

IT IS RECOMMENDED THAT PLANTING OCCUR WITHIN 24 HOURS OF DELIVERY TO THE SITE. PLANT MATERIALS LEFT UNPLANTED FOR MORE THAN 24 HOURS SHALL BE PROTECTED FROM DIRECT SUN AND WEATHER AND KEPT MOIST. PLANT MATERIAL SHOULD NOT BE LEFT UNPLANTED FOR MORE THAN TWO WEEKS.

PLANTING METHOD

SEE PLANTING DETAILS FOR EACH TYPE OF PLANT MATERIAL USED. ALL TREES SHALL BE INSTALLED WITH TREE SHELTERS.



- NOTES:**
- FOR CONTAINER SHRUBS, COMPLETELY REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOTBALL.
 - FOR B&B SHRUBS, CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.

**FINAL LANDSCAPE PLAN
OWNER CERTIFICATION FORM**

I certify that I have reviewed this Final Landscape Plan; that I have read and understood the regulations presented in the Carroll County Landscape Manual; and I agree to comply with these regulations and all applicable policy, guidelines and ordinances. I agree to certify the implementation of this approved Final Landscape Plan no later than one (1) year from the date of approval of this plan to the Department of Planning, Bureau of Resource Management, Room 209, 225 N. Center Street, Westminster, MD 21157-5194.

Applicant Signature	Date	Print Name
Address	Street	Phone No.
City	State	Zip
File #		

OWNER LONG MEADOW FARM 21784 LL6 741 KLEES MILL RD WESTMINSTER, MD 21157 PHONE NO: 410-369-1207	DEVELOPER ST. JOHN PROPERTIES, INC. 2560 LORD BALTIMORE DRIVE BALTIMORE, MD 21244 CONTACT: MATT TAYLOR PHONE NO: 410-369-1207	P-23-0055												
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CONCEPT MAJOR SUBDIVISION PLAN
FOR R-40,000 RESIDENTIAL

**LANDSCAPE DETAILS
& SPECIFICATIONS
ELDERSBURG PRESERVE**

BENNETT ROAD
ELDERSBURG, MD
TAX MAP 73 : GRID 6 : PARCEL 247
ELECTION DISTRICT 5 CARROLL COUNTY, MD

<p>PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.</p> <p>LICENSE NUMBER: 1008 EXPIRATION DATE: 5/20/2024</p>	<p>DATE: 5-1-24-2024 SCALE: AS SHOWN DRAWING: 19 of 19</p> <p>PROJECT NUMBER: 00211253.004A</p>
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T:\2021\Facilities\00211253_001A Beatty Property\CIVIL\CADD\Drawings\Concept Northern Single Family\00211253_004A (C-18) Landscape Plan.dwg May 02, 2024 5:22pm rlangrehr