



Madison, Wisconsin

# CITY OF MADISON

## CITY ENGINEERING DIVISION

### DEPARTMENT OF PUBLIC WORKS

# PLAN OF PROPOSED IMPROVEMENT

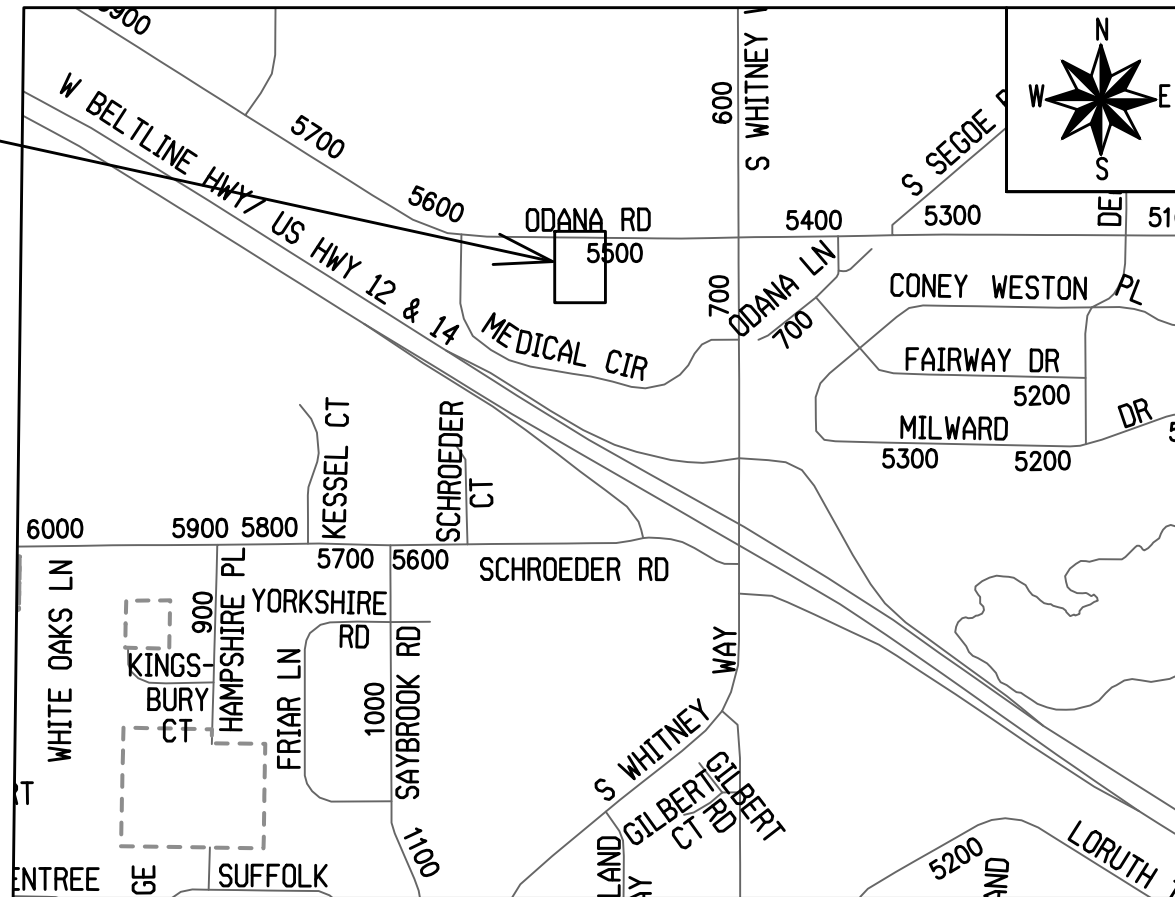
#### INDEX OF SHEETS

SHEET NO. 1	TITLE SHEET
SHEET NO. C2	SITE PLAN
SHEET NO. C3	SIDEWALK PLAN & PROFILE
SHEET NO. C4	UTILITY PLAN
SHEET NO. L5	LANDSCAPE PLAN

## 5577 ODANA ROAD

CITY PROJECT NO. 13046  
CONTRACT NO. 8928

PROJECT  
LOCATION



PUBLIC IMPROVEMENT PROJECT  
APPROVED

JULY 14, 2020

BY THE COMMON COUNCIL  
OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN  
APPROVED BY:

*CV- Greg Fries* 8/13/2020

City Engineer Date

SIDEWALK  
DESIGNED BY:

SEE  
INDIVIDUAL  
SHEETS

STORM & SANITARY SEWER  
DESIGNED BY:

SEE  
INDIVIDUAL  
SHEETS

PLOT SCALE: 1 IN. = 1 FT. XREF

PLOT NAME: ---

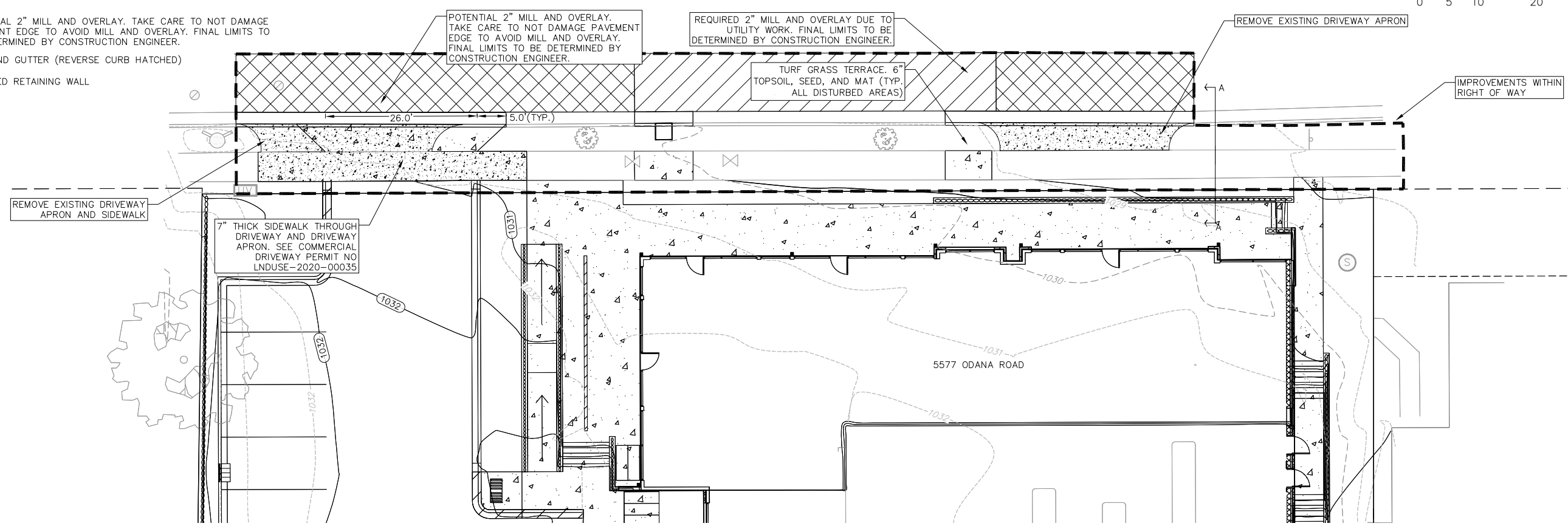
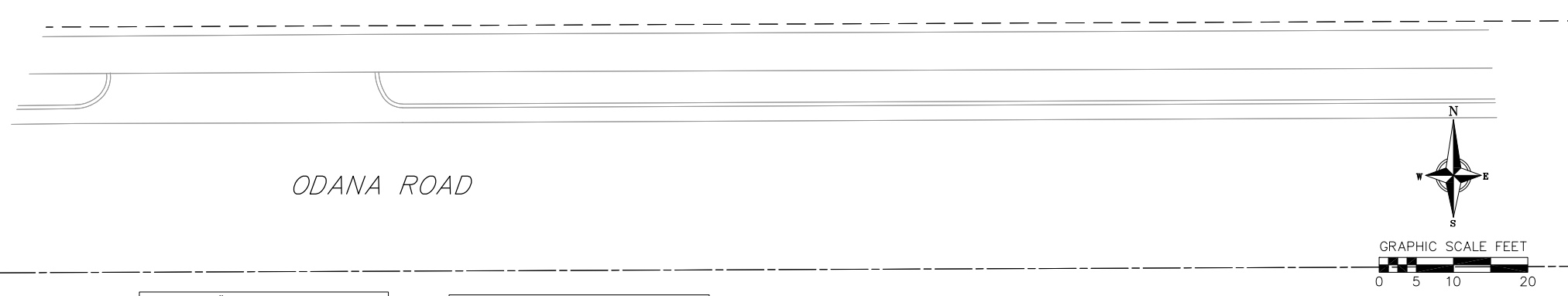
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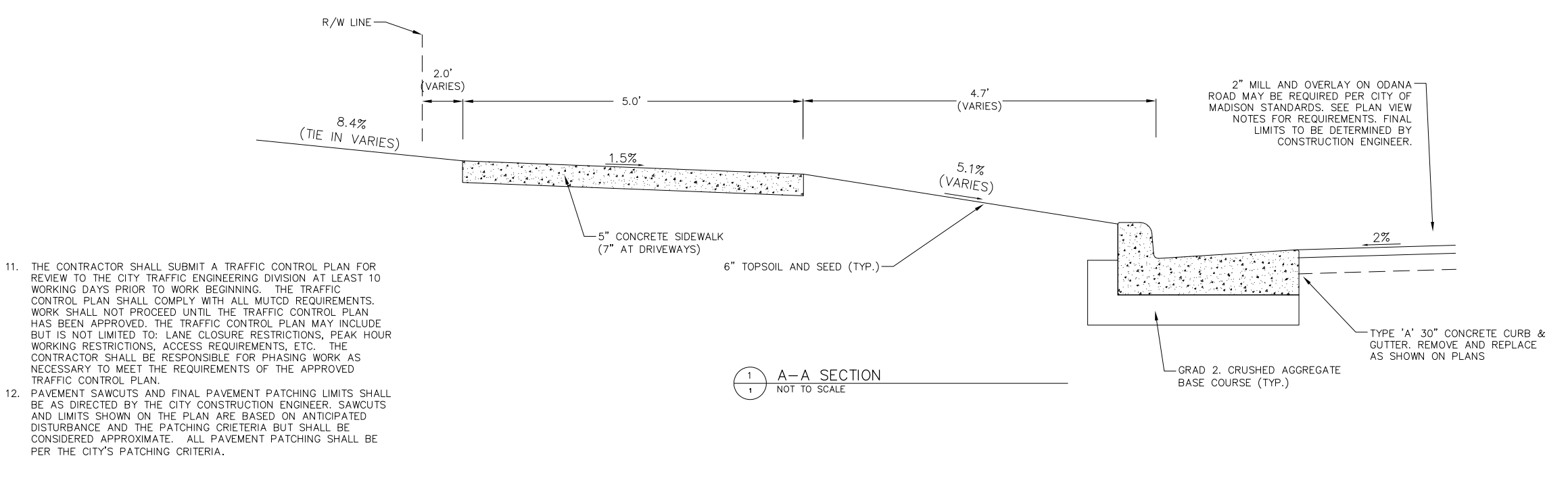
© 2019 Vierbicher Associates, Inc. M:\McGrath Property Group\200052\_Odana Road\200052\_ROW Plans.dwg by: schr 06 Aug 2020 - 3:14p

**LEGEND**

- 820--- EXISTING MAJOR CONTOURS
- 818--- EXISTING MINOR CONTOURS
- (820) PROPOSED MAJOR CONTOURS
- (818) PROPOSED MINOR CONTOURS
- SILT FENCE
- IMPROVEMENTS WITHIN RIGHT OF WAY
- ⊕1048.61 EXISTING SPOT ELEVATIONS
- ⊕1048.61 PROPOSED SPOT ELEVATIONS
- PROPERTY BOUNDARY
- ▨ PROPOSED CONCRETE
- ▨ REQUIRED 2" MILL AND OVERLAY DUE TO UTILITY WORK. FINAL LIMITS TO BE DETERMINED BY CONSTRUCTION ENGINEER.
- ▨ POTENTIAL 2" MILL AND OVERLAY. TAKE CARE TO NOT DAMAGE PAVEMENT EDGE TO AVOID MILL AND OVERLAY. FINAL LIMITS TO BE DETERMINED BY CONSTRUCTION ENGINEER.
- ▨ CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED RETAINING WALL



- SITE NOTES:**
1. THE DEVELOPER SHALL REPLACE ALL CURB & GUTTER AND SIDEWALK THAT IS DAMAGED OR DETERMINED TO BE IN UNSATISFACTORY CONDITION.
  2. ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADES OF 0.5% TOWARD STORM SEWER INLETS.
  3. ALL DISTURBED TERRACE AREAS SHALL BE RESTORED WITH 6-INCHES OF TOP SOIL AND SEED UNLESS DIRECTED OTHERWISE ON THE PLAN OR BY THE CITY CONSTRUCTION ENGINEER.
  4. TYPICAL PAVEMENT CROSS SLOPES SHALL BE 2% AND TERRACES SHALL SLOPE AT A 4% GRADE TOWARD THE GUTTER.
  5. THE CROSS SLOPE OF SIDEWALKS SHALL BE 1.5%. THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. CONCRETE TERRACE SHALL BE INSTALLED BETWEEN THE SIDEWALK AND THE BACK OF CURB AT SIDEWALK LOW POINTS WHICH CANNOT OTHERWISE BE DRAINED DIRECTLY TO THE GUTTER. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4:00:1.
  6. OBTAIN A PRINT OUT OF THE ALIGNMENT FROM THE CITY ENGINEER PRIOR TO STAKING THIS PROJECT.
  7. POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK.
  8. ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.
  9. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
  10. ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.
  11. THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.



REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 08-06-2020

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PROJECT NO. 13046

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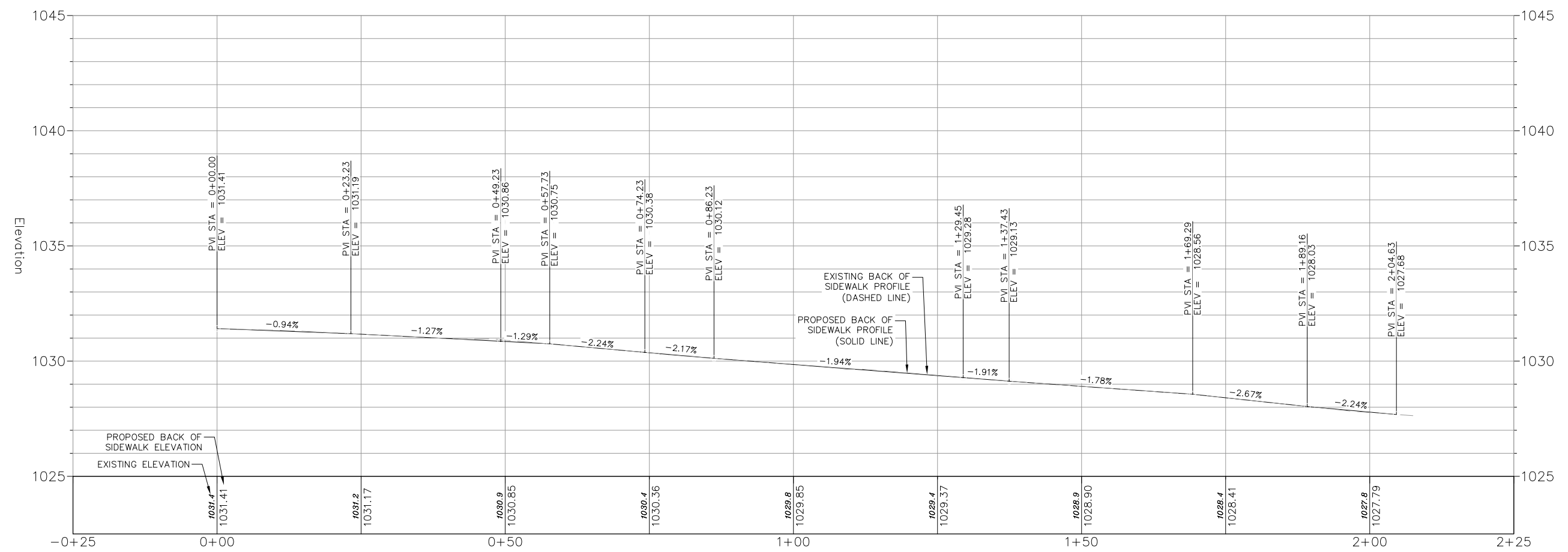
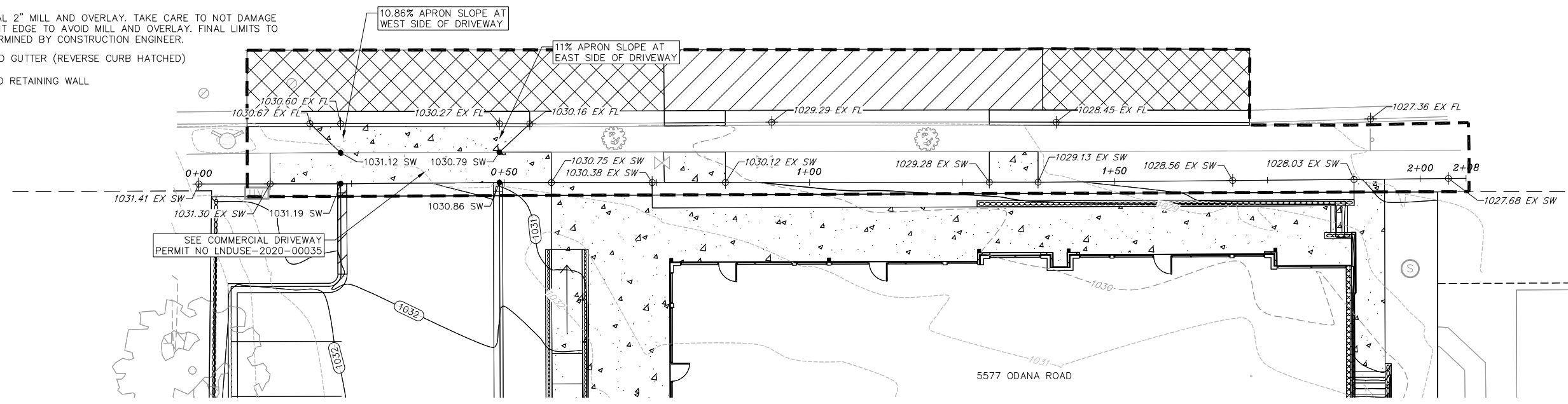
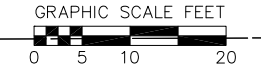
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**ABBREVIATIONS**

EX	-	EXISTING GRADE
FL	-	FLOW LINE
SW	-	TOP OF WALK

**ODANA ROAD**



NO.	DATE	REVISIONS	
		REMARKS	NO.

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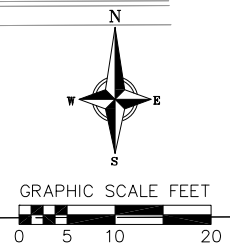
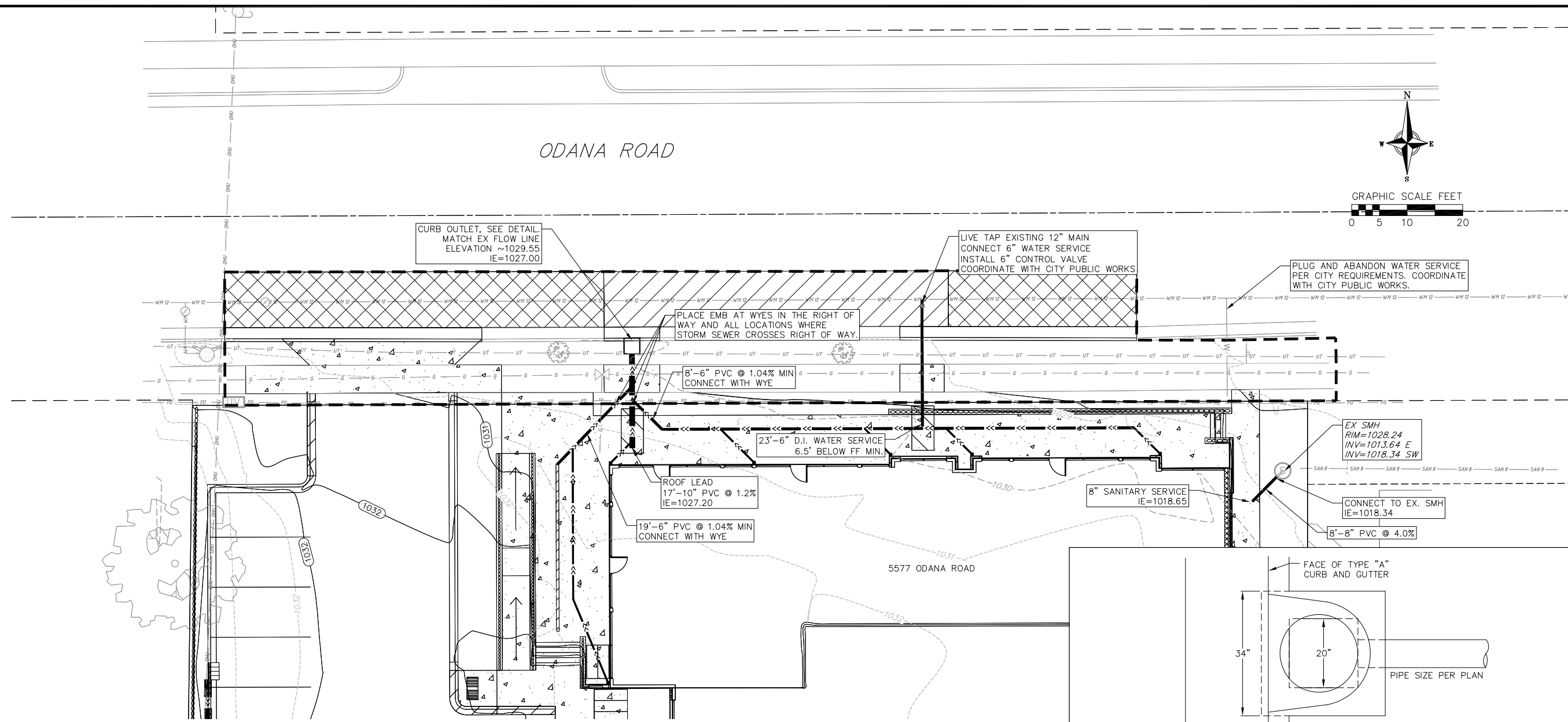
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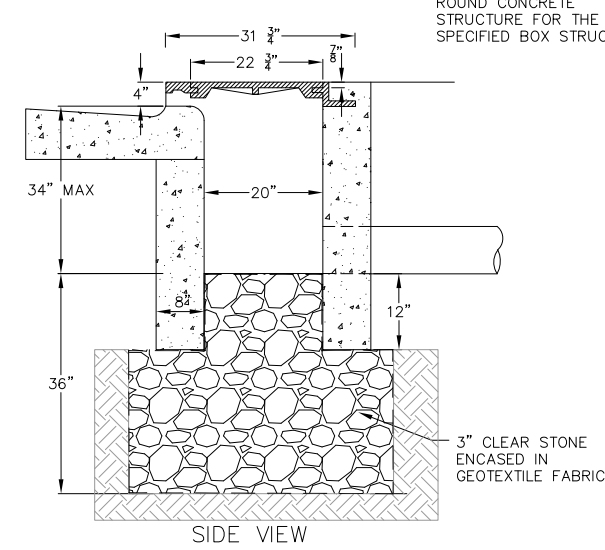
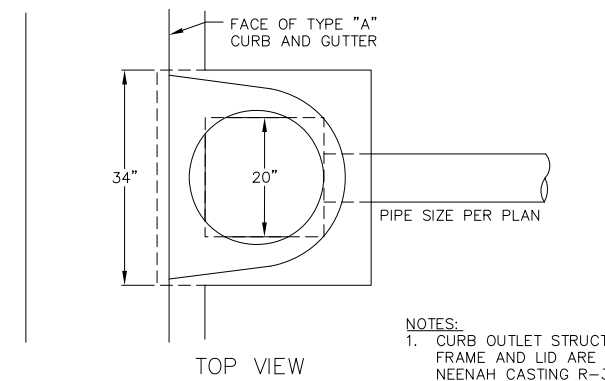
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- PROPOSED UTILITY LEGEND**
- <<---<<--- STORM SEWER PIPE
  - SANITARY SEWER LATERAL PIPE
  - ⊙ SANITARY SEWER MANHOLE
  - WATER SERVICE LATERAL PIPE
  - ⊙ WATER VALVE
- TOPOGRAPHIC LINEWORK LEGEND**
- FD --- FD --- EXISTING FIBER OPTIC LINE
  - UT --- UT --- EXISTING UNDERGROUND TELEPHONE
  - G --- G --- EXISTING GAS LINE
  - OHU --- OHU --- EXISTING OVERHEAD GENERAL UTILITIES
  - SAN --- SAN --- EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - WM --- WM --- EXISTING WATER MAIN (SIZE NOTED)

- UTILITY NOTES:**
1. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
  3. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
  4. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
  5. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
  6. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  7. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
  8. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  9. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  10. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
  11. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
  12. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
  13. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
  14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
  15. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
  16. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  17. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
  18. INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
  19. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
  20. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.



- NOTES:**
1. CURB OUTLET STRUCTURE FRAME AND LID ARE NEENAH CASTING R-3331.
  2. MAY SUBSTITUTE PRECAST, ROUND CONCRETE STRUCTURE FOR THE SPECIFIED BOX STRUCTURE.

1 CURB OUTLET STRUCTURE  
1 NOT TO SCALE

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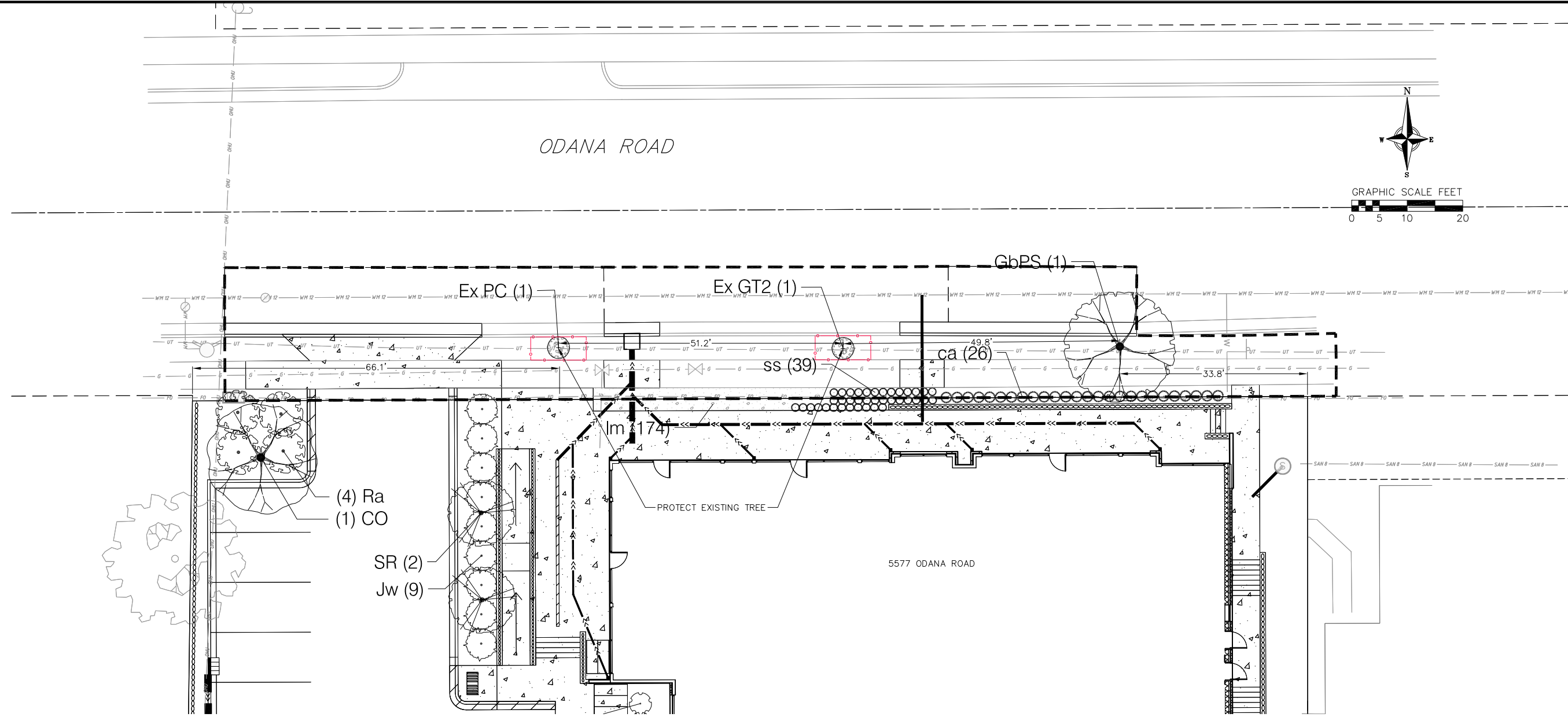
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**LANDSCAPE NOTES:**

- CONTRACTOR SHALL CONTACT CITY FORESTRY 608-266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATION WITH THE LANDSCAPER.
- NO TREES, EXCEPT THOSE SHOWN ON THE PLANS, SHALL BE REMOVED. IT IS EXPECTED THAT CONSTRUCTION WILL BE STAGED SUCH THAT EXISTING TREES THAT ARE TO REMAIN WILL BE PRESERVED. ANY REQUESTED TREE REMOVALS FOR CONSTRUCTION SHALL BE REVIEWED IN FURTHER DETAIL WITH CITY FORESTRY, AND, IF A TREE REMOVAL PERMIT WILL BE GRANTED, IT WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE IT CAN BE ISSUED; THE ADDITIONAL TIME IS REQUIRED TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN. CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR ALL TREE REMOVALS IN THE RIGHT OF WAY IDENTIFIED ON PLANS. CONTACT WAYNE BUCKLEY AT WBUCKLEY@CITYOFMADISON.COM OR 2664816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION [HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2018/PART1.PDF](http://www.cityofmadison.com/BUSINESS/PW/DOCUMENTS/STDSPECS/2018/PART1.PDF). ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

**PLANT\_SCHEDULE**

DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY		
GbPS	Glikgo biloba 'Princeton Sentry' / Princeton Sentry Glikgo	B & B	2.5" Cal		1		
EXISTING STREET TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY		
Ex GT2	Gleditsia triacanthos / Honey Locust	Existing	1.25" Cal		1		
Ex PC	Pyrus calleryana / Ornamental Pear	Existing	1.25" Cal		1		
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY		
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal			43		
ss	Schizachyrium scoparium / Little Bluestem Grass	1 gal			39		
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	SPACING	QTY
	Im	Lilrope muscari / Lilyturf	flat			12" o.c.	174

**Landscape Plan**  
5577 Odana Road  
City of Madison  
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

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