

# PUBLIC IMPROVEMENTS PLAN

## CITY OF MADISON, WISCONSIN

SE 1/4, NE 1/4, SECTION 06, TOWNSHIP 07 NORTH, RANGE 10 EAST

### 2521 E. WASHINGTON AVE

CITY PROJECT NO. 13204

CONTRACT NO. 8942

**PUBLIC IMPROVEMENT DESIGN  
APPROVED BY:**

*EN- Greg Fries* 11/30/20

CITY ENGINEER DATE

**PUBLIC IMPROVEMENT PROJECT  
APPROVED SEPTEMBER 1, 2020 BY THE  
COMMON COUNCIL OF MADISON, WI**

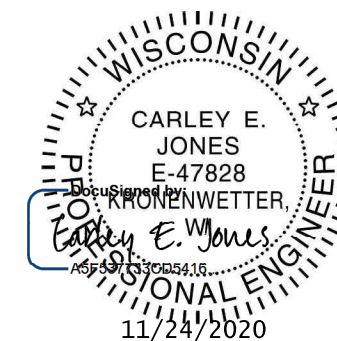
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**PROJECT AREA**

NOT TO SCALE



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APPLETON | KENOSHA | CHICAGO  
COEUR D'ALENE

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**GORMAN & COMPANY**

CLIENT ADDRESS:  
200 N. MAIN STREET  
OREGON, WI 53575

PROJECT:  
**PUBLIC IMPROVEMENTS  
CITY PROJECT: 13204  
CONTRACT NO: 8942**

PROJECT LOCATION:  
MADISON, WI  
DANE COUNTY

**PLAN MODIFICATIONS:**

| #  | Date       | Description             |
|----|------------|-------------------------|
| 1  | 10.12.2020 | PUBLIC IMPROVEMENT PLAN |
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Design/Drawn: CEJ  
Approved: JLF

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**C0.0**



## GENERAL NOTES

1. THE DEVELOPER SHALL REPLACE ALL CURB & GUTTER AND SIDEWALK THAT IS DAMAGED OR DETERMINED TO BE IN UNSATISFACTORY CONDITION.
2. ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADES OF 0.5% TOWARD STORM SEWER INLETS.
3. ALL DISTURBED TERRACE AREAS SHALL BE RESTORED WITH 6-INCHES OF TOP SOIL AND SEED UNLESS DIRECTED OTHERWISE ON THE PLAN OR BY THE CITY CONSTRUCTION ENGINEER.
4. TYPICAL PAVEMENT CROSS SLOPES SHALL BE 2% AND TERRACES SHALL SLOPE AT A 4% GRADE TOWARD THE GUTTER.
5. THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D.3.03. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. CONCRETE TERRACE SHALL BE INSTALLED BETWEEN THE SIDEWALK AND THE BACK OF CURB AT SIDEWALK LOW POINTS WHICH CANNOT OTHERWISE BE DRAINED DIRECTLY TO THE GUTTER. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4.00:1. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.
6. OBTAIN A PRINT OUT OF THE ALIGNMENT FROM THE CITY ENGINEER PRIOR TO STAKING THIS PROJECT.
7. CURB STATION AND OFFSETS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
8. POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK.
9. ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.
10. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
11. ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.
12. THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.
13. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR REVIEW TO THE CITY TRAFFIC ENGINEERING DIVISION AT LEAST 10 WORKING DAYS PRIOR TO WORK BEGINNING. THE TRAFFIC CONTROL PLAN SHALL COMPLY WITH ALL MUTCD REQUIREMENTS. WORK SHALL NOT PROCEED UNTIL THE TRAFFIC CONTROL PLAN HAS BEEN APPROVED. THE TRAFFIC CONTROL PLAN MAY INCLUDE BUT IS NOT LIMITED TO: LANE CLOSURE RESTRICTIONS, PEAK HOUR WORKING RESTRICTIONS, ACCESS REQUIREMENTS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING WORK AS NECESSARY TO MEET THE REQUIREMENTS OF THE APPROVED TRAFFIC CONTROL PLAN.
14. PAVEMENT SAWCUTS AND FINAL PAVEMENT PATCHING LIMITS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS AND LIMITS SHOWN ON THE PLAN ARE BASED ON ANTICIPATED DISTURBANCE AND THE PATCHING CRITERIA BUT SHALL BE CONSIDERED APPROXIMATE. ALL PAVEMENT PATCHING SHALL BE PER THE CITY'S PATCHING CRITERIA.

15. NO TREES, EXCEPT THOSE SHOWN ON THE PLANS, SHALL BE REMOVED. IT IS EXPECTED THAT CONSTRUCTION WILL BE STAGED SUCH THAT EXISTING TREES THAT ARE TO REMAIN WILL BE PRESERVED. ANY REQUESTED TREE REMOVALS FOR CONSTRUCTION SHALL BE REVIEWED IN FURTHER DETAIL WITH CITY FORESTRY, AND, IF A TREE REMOVAL PERMIT WILL BE GRANTED, IT WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE IT CAN BE ISSUED; THE ADDITIONAL TIME IS REQUIRED TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN. CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR ALL TREE REMOVALS IN THE RIGHT OF WAY IDENTIFIED ON PLANS. CONTACT CITY FORESTRY AT 266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.

16. CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING AND ALSO PRIOR TO INSTALLATION OF TREE GRATES. TREE GRATES WILL REQUIRE EXCAVATION TO CONFIRM THAT THERE ARE NO CONFLICTS THAT WOULD PREVENT TREE PLANTINGS. NOTICE PRIOR TO OTHER PLANTINGS IS NECESSARY TO SCHEDULE INSPECTION OF THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

17. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION -[HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2018/PART1.PDF](http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/part1.pdf). ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

### LEGEND

|  |                              |
|--|------------------------------|
|  | PROPERTY LINE                |
|  | RIGHT-OF-WAY                 |
|  | EASEMENT LINE                |
|  | BUILDING OUTLINE             |
|  | BUILDING OVERHANG            |
|  | BUILDING SETBACK LINE        |
|  | PAVEMENT SETBACK LINE        |
|  | EDGE OF PAVEMENT             |
|  | STANDARD CURB AND GUTTER     |
|  | REJECT CURB AND GUTTER       |
|  | MOUNTABLE CURB AND GUTTER    |
|  | 8" CONCRETE RIBBON CURB      |
|  | ASPHALT PAVEMENT             |
|  | HEAVY DUTY ASPHALT PAVEMENT  |
|  | CONCRETE PAVEMENT            |
|  | HEAVY DUTY CONCRETE PAVEMENT |
|  | PROPOSED 1 FOOT CONTOUR      |
|  | PROPOSED 5 FOOT CONTOUR      |
|  | EXISTING 1 FOOT CONTOUR      |
|  | EXISTING 5 FOOT CONTOUR      |
|  | BIKE RACK                    |
|  | SANITARY SEWER               |
|  | WATERMAIN                    |
|  | STORM SEWER                  |
|  | SPOT ELEVATION               |
|  | EP - EDGE OF PAVEMENT        |
|  | FG - FINISH GRADE            |
|  | EC - EDGE OF CONCRETE        |
|  | BOC - BACK OF CURB           |
|  | MATCH - MATCH EXISTING GRADE |
|  | HP - HIGH POINT              |
|  | SW - SIDEWALK                |

FG:XXX.XX



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P. 608.848.5060

CLIENT:  
**GORMAN & COMPANY**

CLIENT ADDRESS:  
**200 N. MAIN STREET  
OREGON, WI 53575**

PROJECT:  
**PUBLIC IMPROVEMENTS  
CITY PROJECT: 13204  
CONTRACT NO: 8942**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

#### PLAN MODIFICATIONS:

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Design/Drawn: CEJ  
Approved: JLF

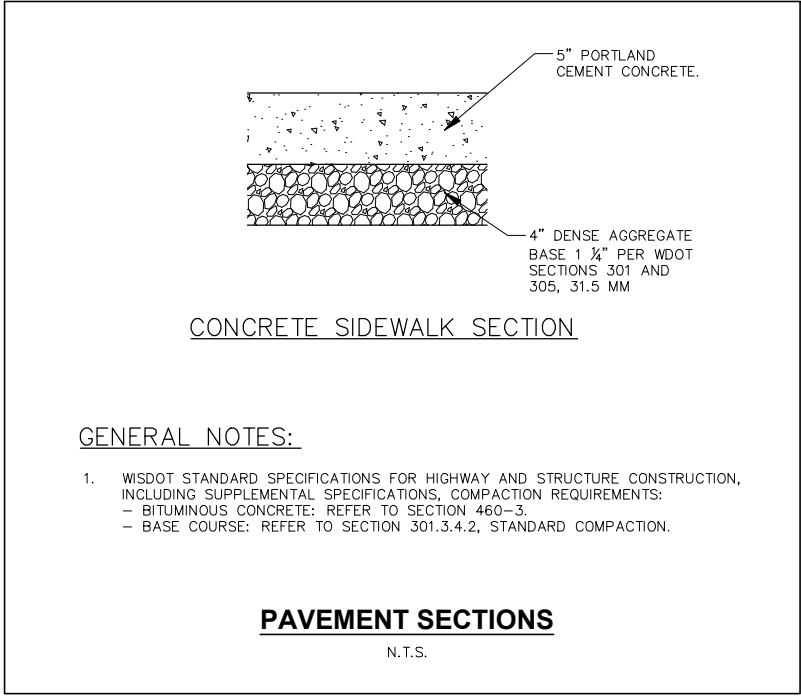
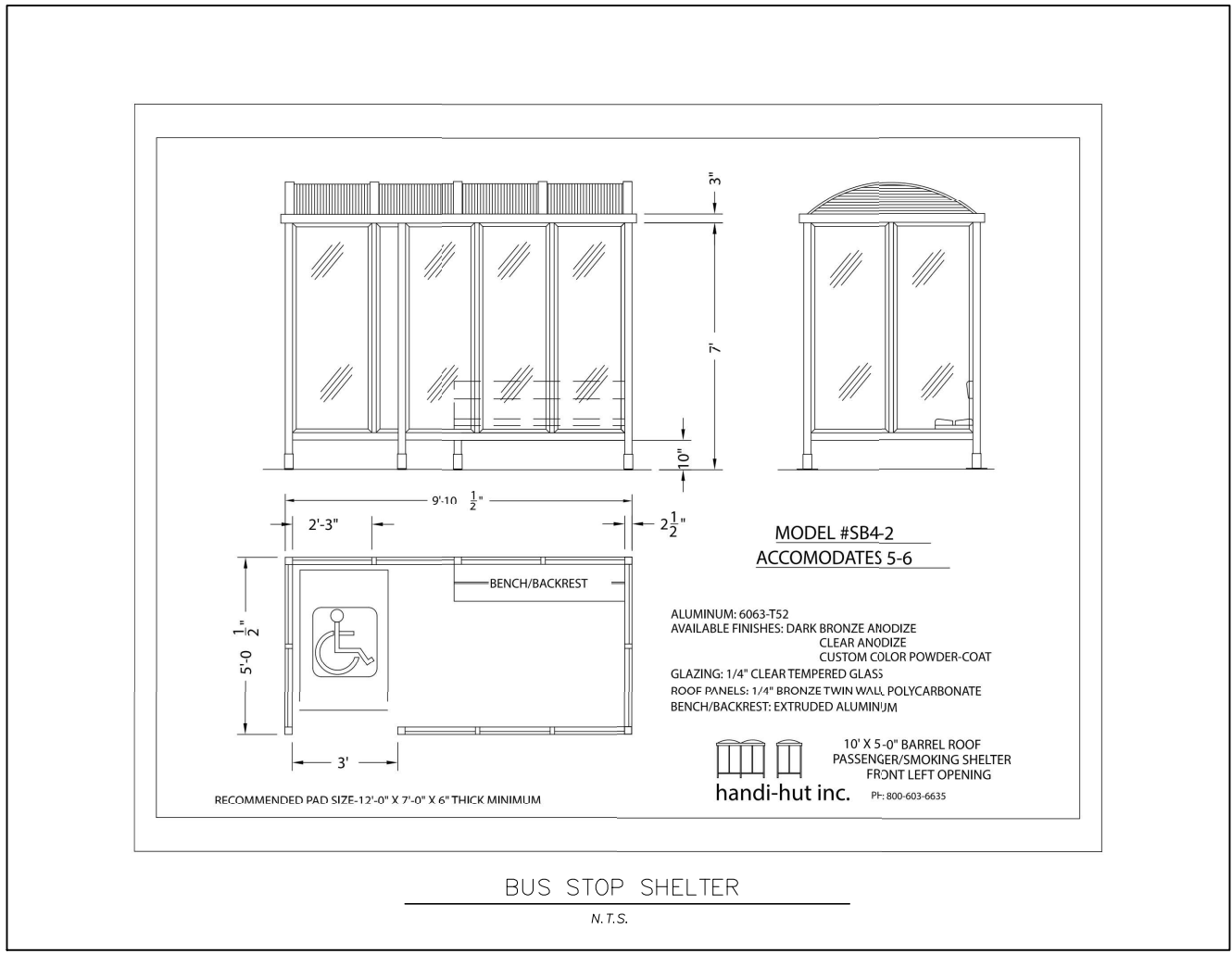
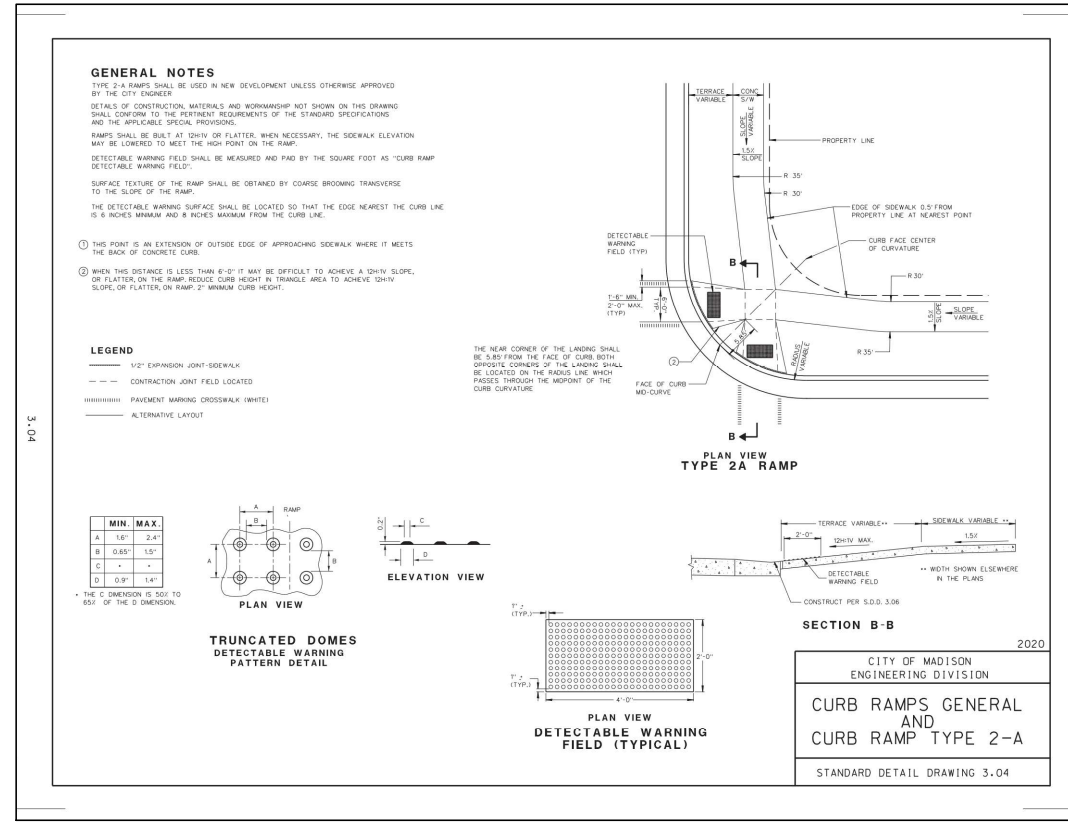
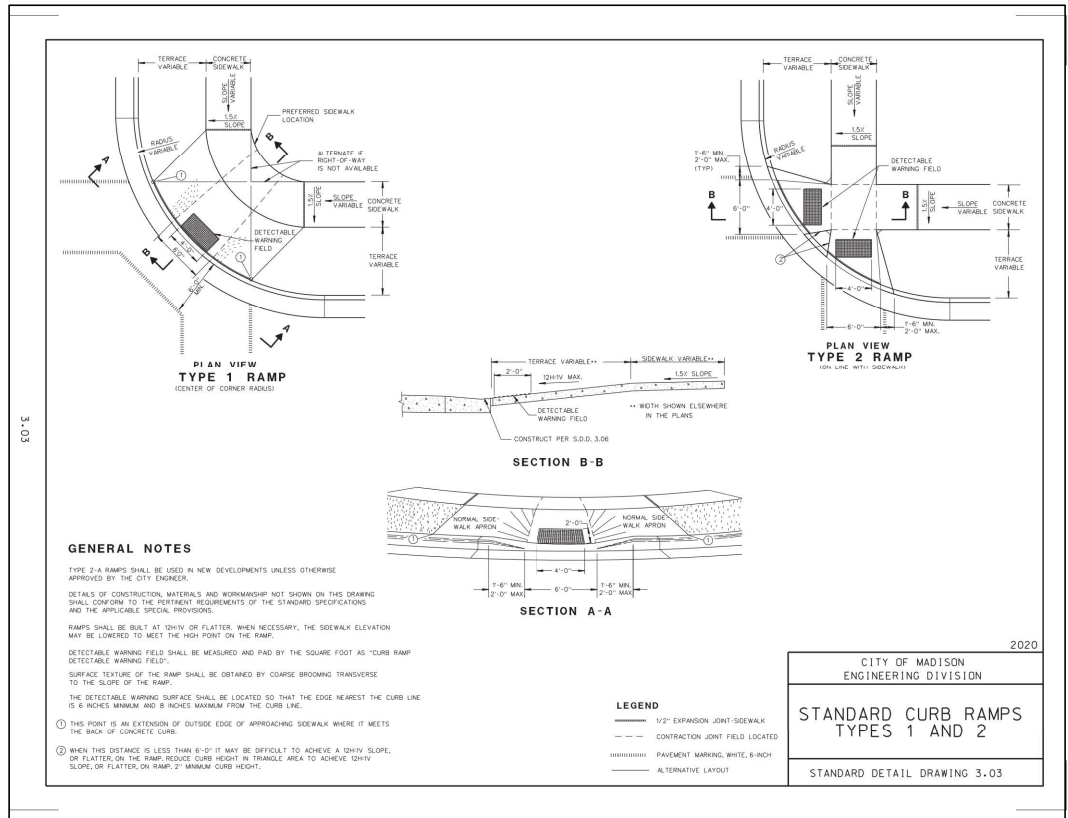
SHEET TITLE:  
**GENERAL NOTES**

SHEET NUMBER:  
**C0.1**

JSD PROJECT NO: 15-6830



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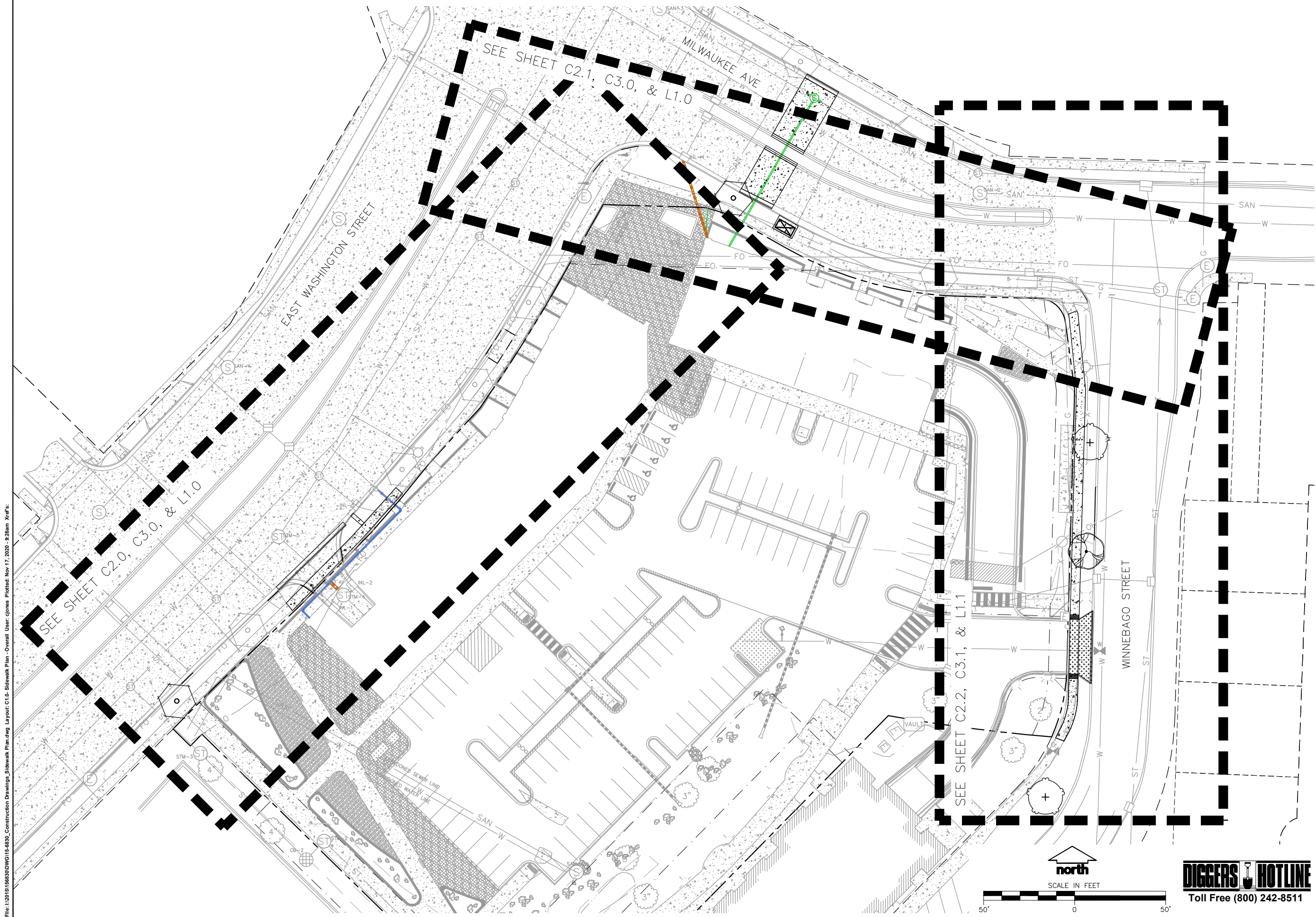
Design/Drawn: CEJ  
Approved: JLF

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C0.2**

JSD PROJECT NO: 15-6830





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Design/Drawn: CEJ  
Approved: JLF

SHEET TITLE:  
**OVERALL MAP/SITE PLAN**

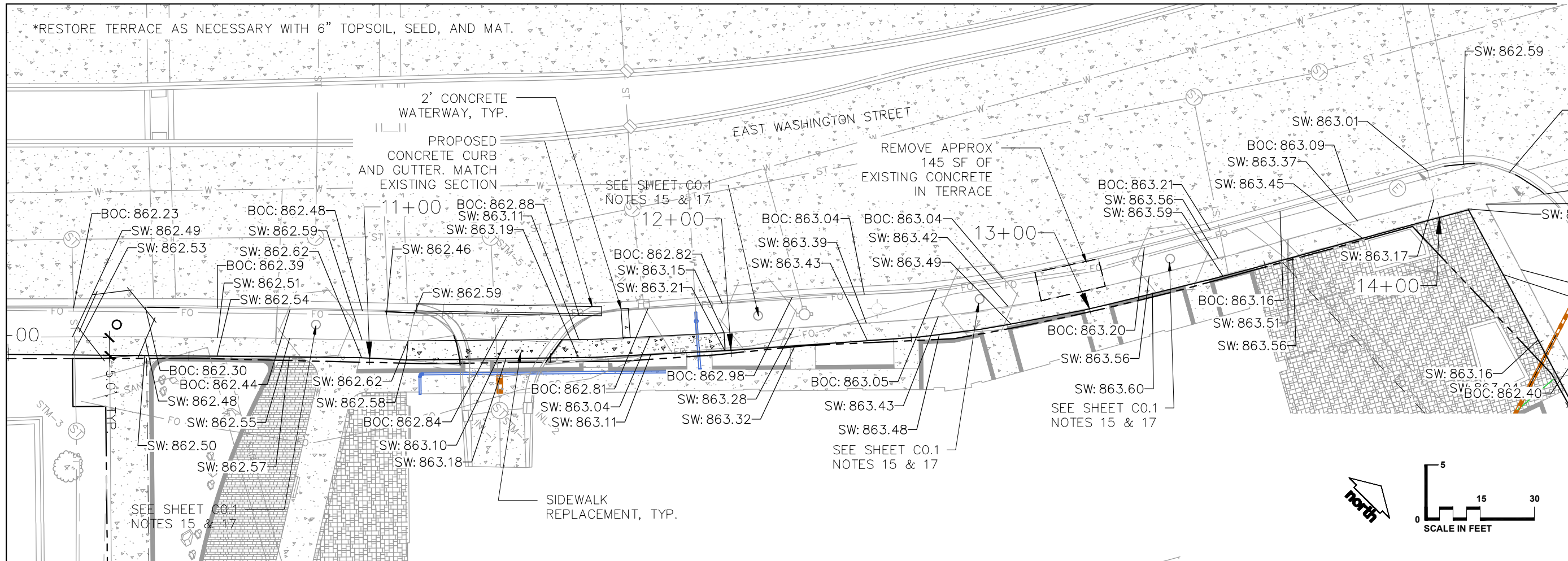
SHEET NUMBER:  
**C1.0**

JSD PROJECT NO: 15-6830

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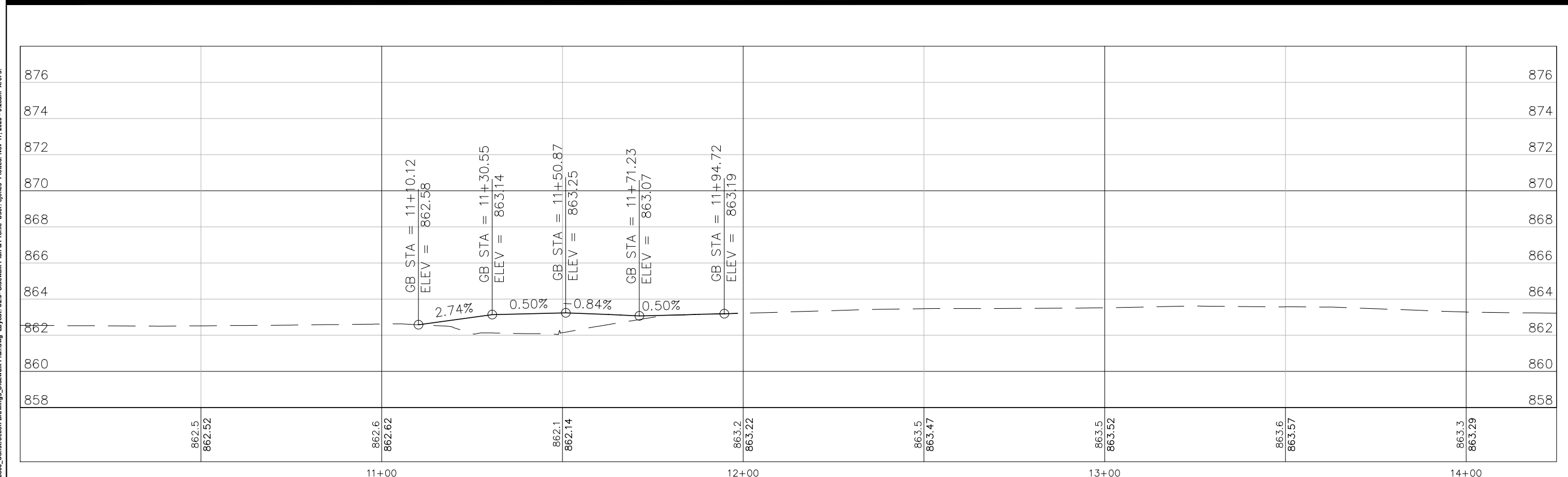
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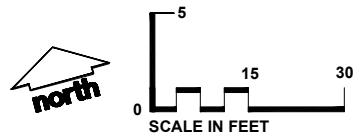
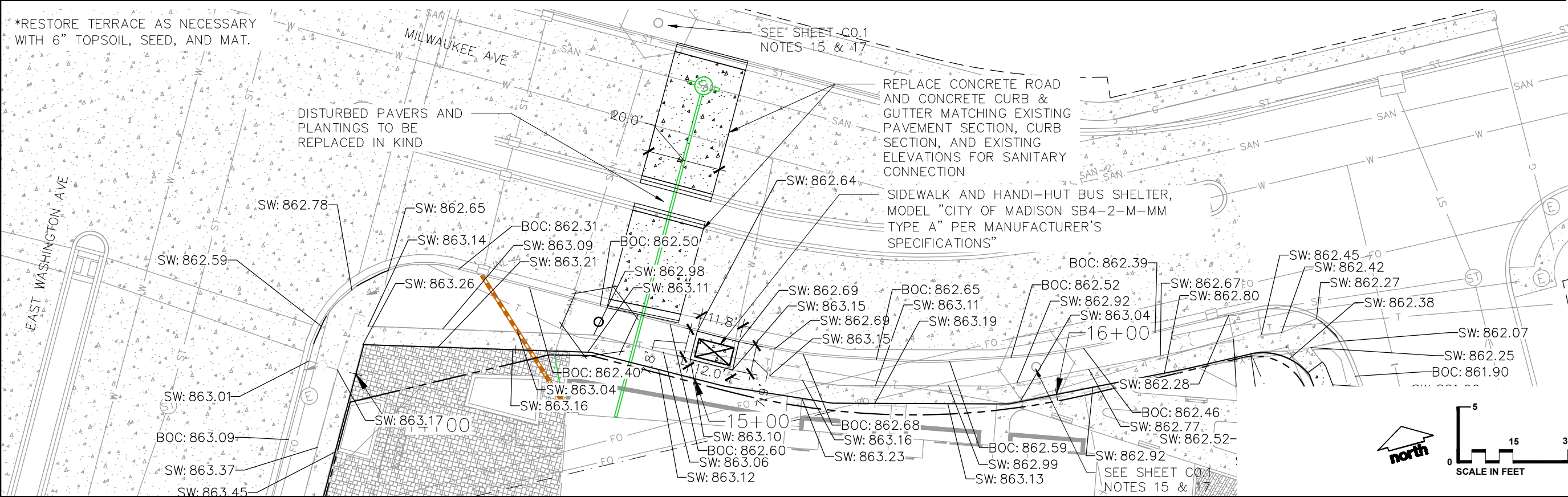
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**SIDEWALK PLAN &  
PROFILE**

SHEET NUMBER:  
**C2.0**

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\*RESTORE TERRACE AS NECESSARY WITH 6" TOPSOIL, SEED, AND MAT.



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 CITY PROJECT: 13204  
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Design/Drawn: CEJ  
 Approved: JLF

SHEET TITLE:  
**SIDEWALK PLAN &  
 PROFILE**

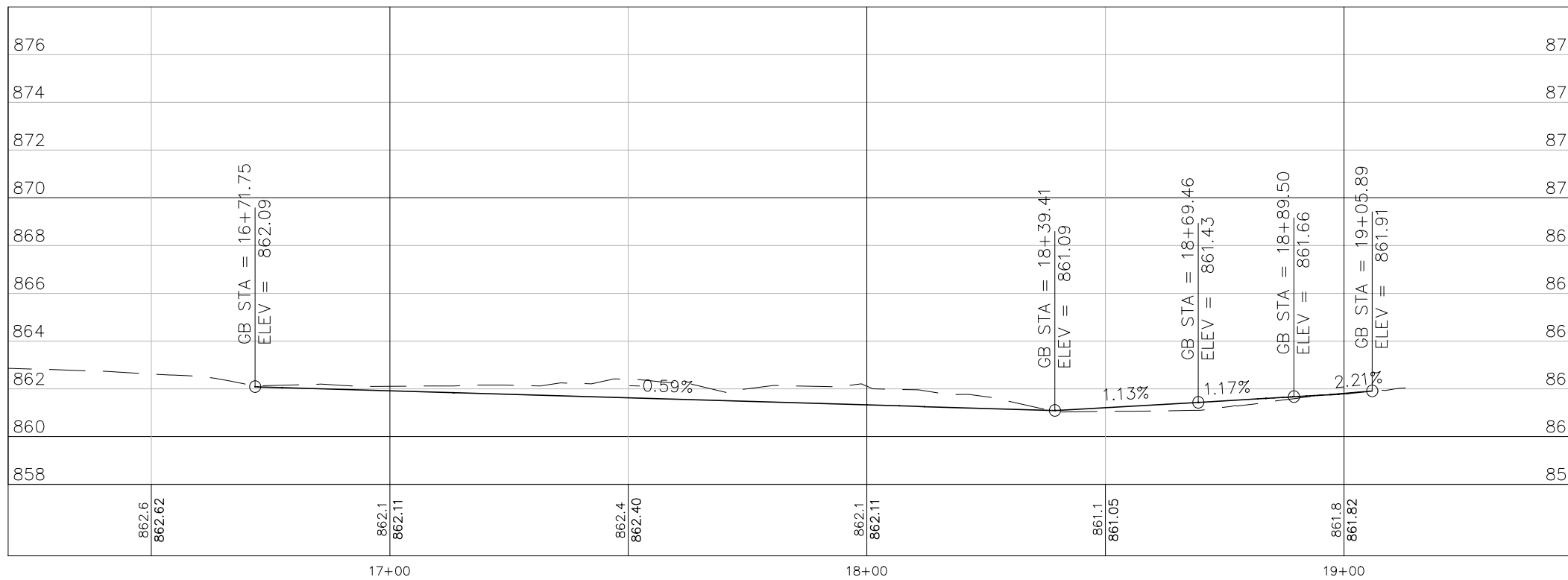
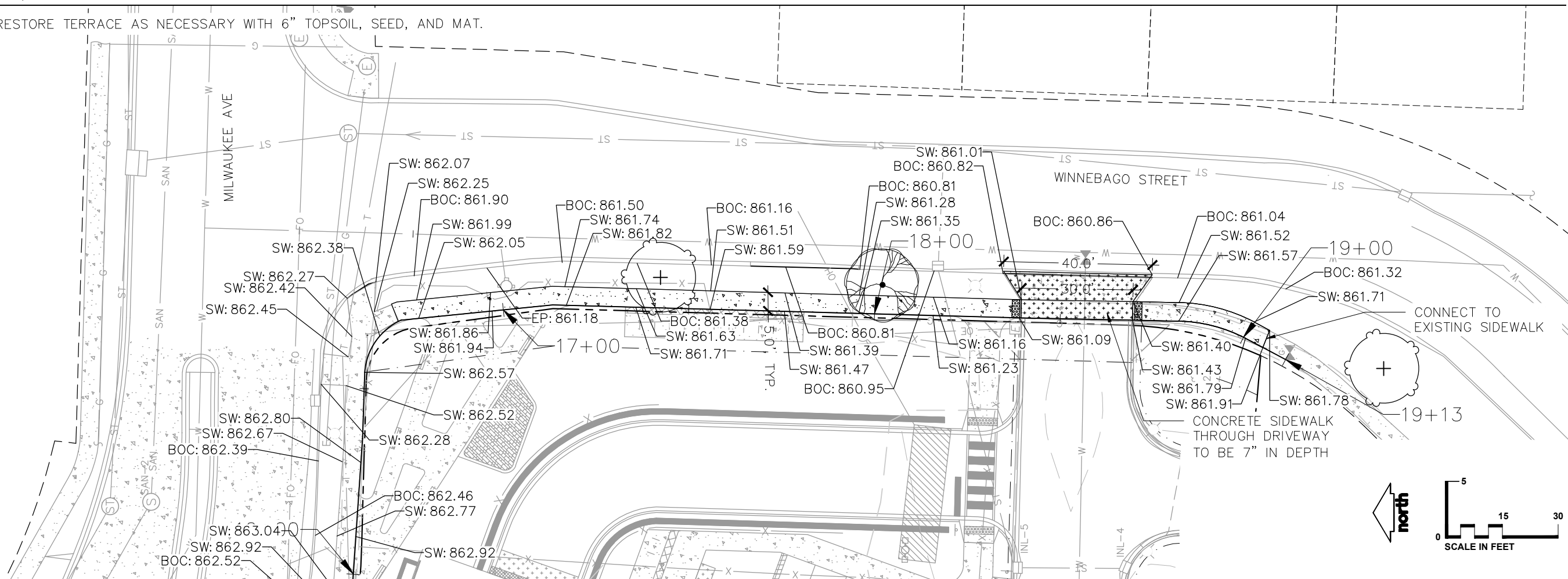
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**C2.1**



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\*RESTORE TERRACE AS NECESSARY WITH 6" TOPSOIL, SEED, AND MAT.



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**SIDEWALK PLAN &  
PROFILE**

SHEET NUMBER:

**C2.2**



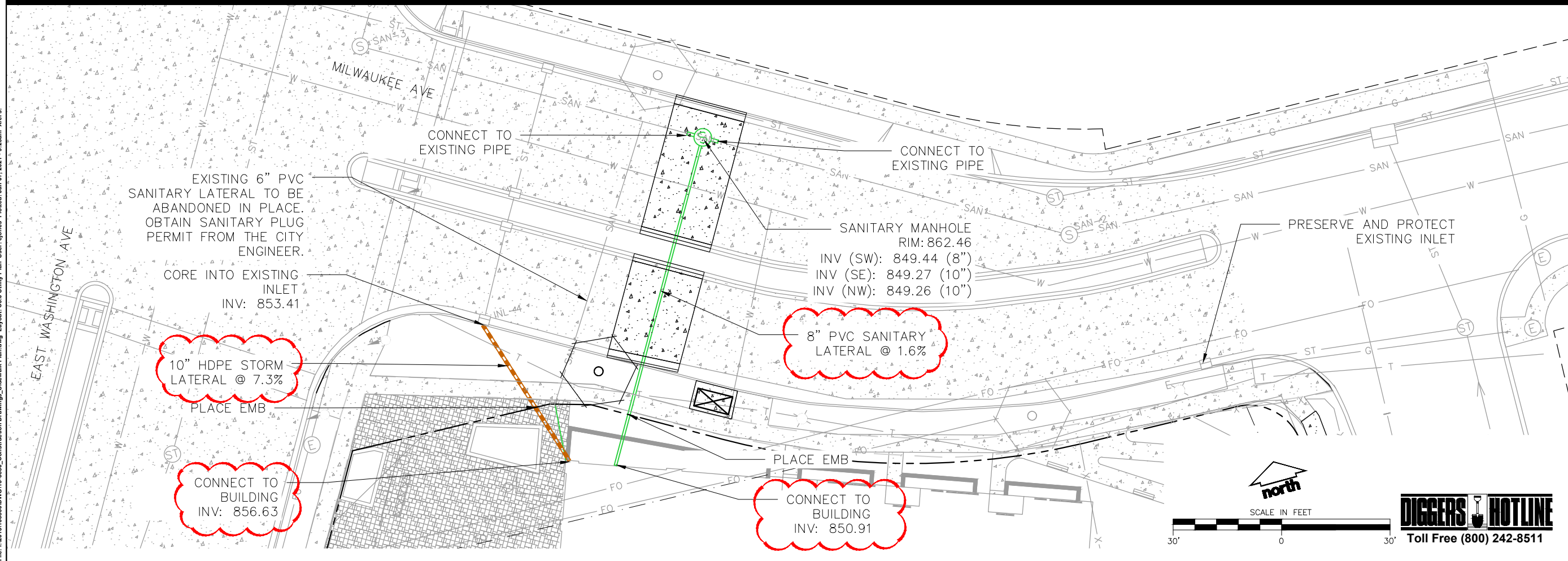
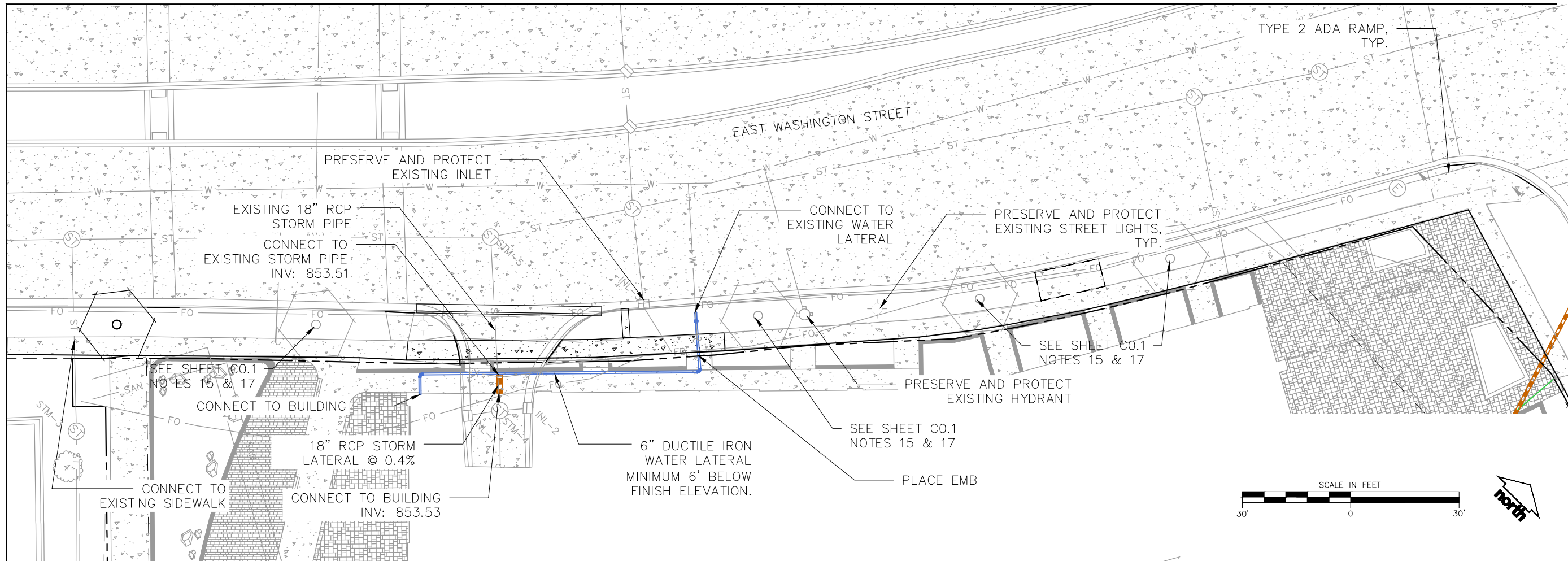
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| 1  | 10.12.2020 | PUBLIC IMPROVEMENT PLAN |
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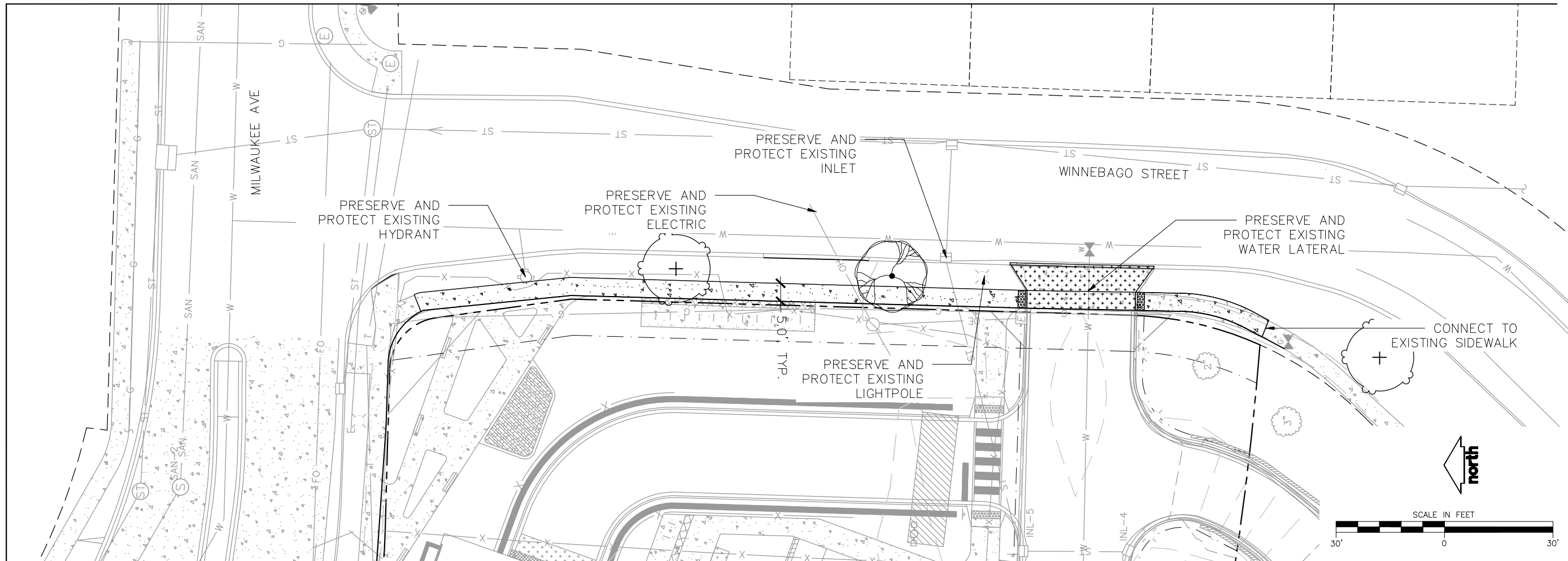
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**UTILITY PLAN**

SHEET NUMBER:  
**C3.0**







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MADISON | MILWAUKEE | WAUSAU  
 APPLETON | KENOSHA | CHICAGO  
 COEUR D'ALENE

MADISON REGIONAL OFFICE  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 P. 608.848.5060

CLIENT:  
**GORMAN & COMPANY**

CLIENT ADDRESS:  
 200 N. MAIN STREET  
 OREGON, WI 53575

PROJECT:  
**PUBLIC IMPROVEMENTS  
 CITY PROJECT: 13204  
 CONTRACT NO: 8942**

PROJECT LOCATION:  
**MADISON, WI  
 DANE COUNTY**

PLAN MODIFICATIONS:

| #  | Date:      | Description:            |
|----|------------|-------------------------|
| 1  | 10.12.2020 | PUBLIC IMPROVEMENT PLAN |
| 2  |            |                         |
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Design/Drawn: CEJ  
 Approved: JLF

SHEET TITLE:  
**UTILITY PLAN**

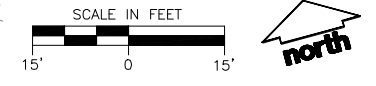
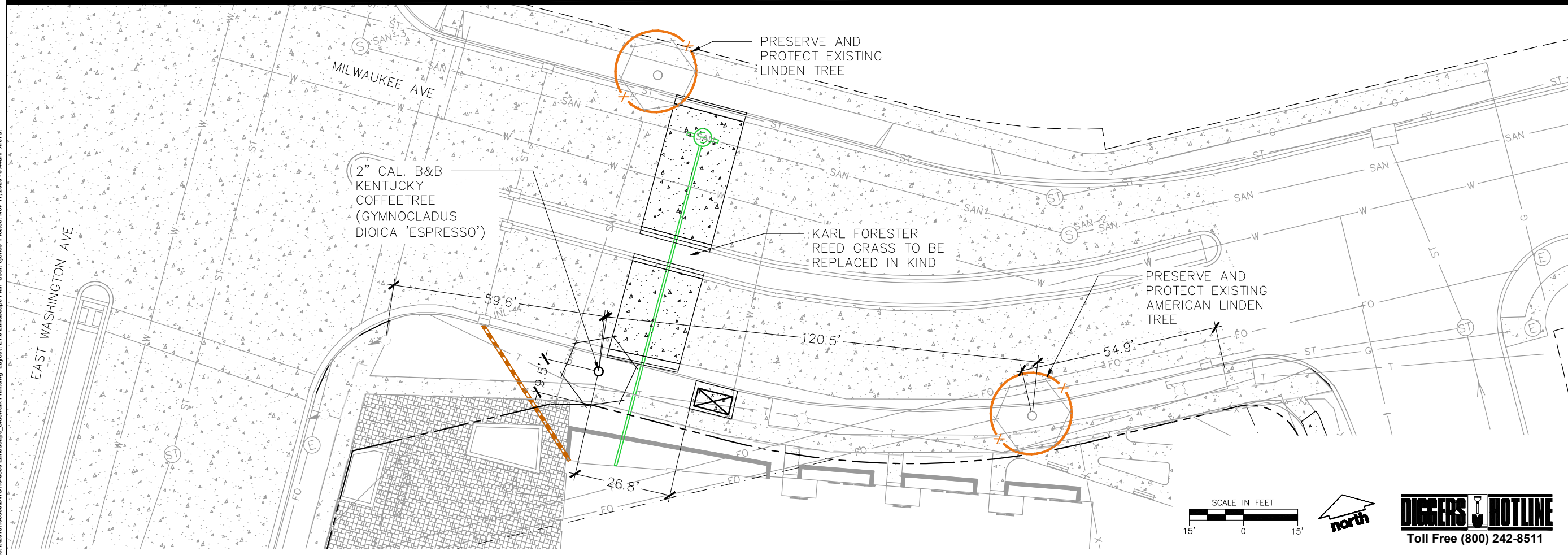
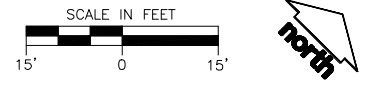
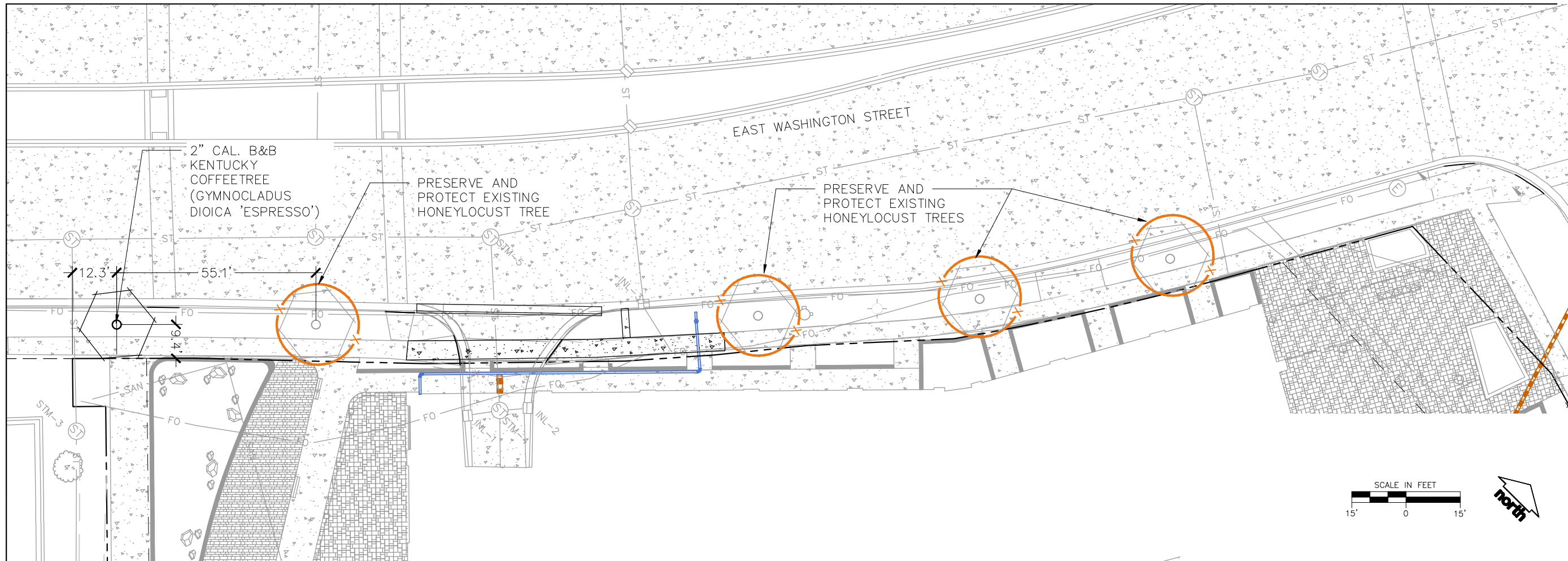
SHEET NUMBER:  
**C3.1**


JSD PROJECT NO: 15-6830



File: I:\2016\156830\DWG\15-6830\_Construction Drawings\_Sidewalk Plan.dwg Layout: C3.1 Utility Plan User: cjonas Plotted: Nov 17, 2020 - 9:33am Xrefs:


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**JSD**  
Professional Services, Inc.  
Engineers • Surveyors • Planners

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CLIENT ADDRESS:  
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OREGON, WI 53575

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PROJECT:  
**PUBLIC IMPROVEMENTS  
CITY PROJECT: 13204  
CONTRACT NO: 8942**

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PROJECT LOCATION:  
MADISON, WI  
DANE COUNTY

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| PLAN MODIFICATIONS: |            |                         |
|---------------------|------------|-------------------------|
| #                   | Date:      | Description:            |
| 1                   | 10.12.2020 | PUBLIC IMPROVEMENT PLAN |
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Design/Drawn: CEJ  
Approved: JLF

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SHEET TITLE:  
**LANDSCAPE PLAN**

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SHEET NUMBER:  
**L1.0**

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JSD PROJECT NO: 15-6830

File: I:\2016\156830\DWG\15-6830\_Landscape\_Sidewalk Plan.dwg User: cjohns Plotted: Nov 17, 2020 9:44am Xref's:

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PROJECT:  
**PUBLIC IMPROVEMENTS  
CITY PROJECT: 13204  
CONTRACT NO: 8942**

PROJECT LOCATION:  
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DANE COUNTY

PLAN MODIFICATIONS:

| #  | Date:      | Description:            |
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| 1  | 10.12.2020 | PUBLIC IMPROVEMENT PLAN |
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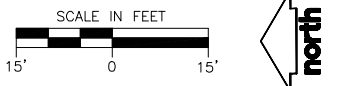
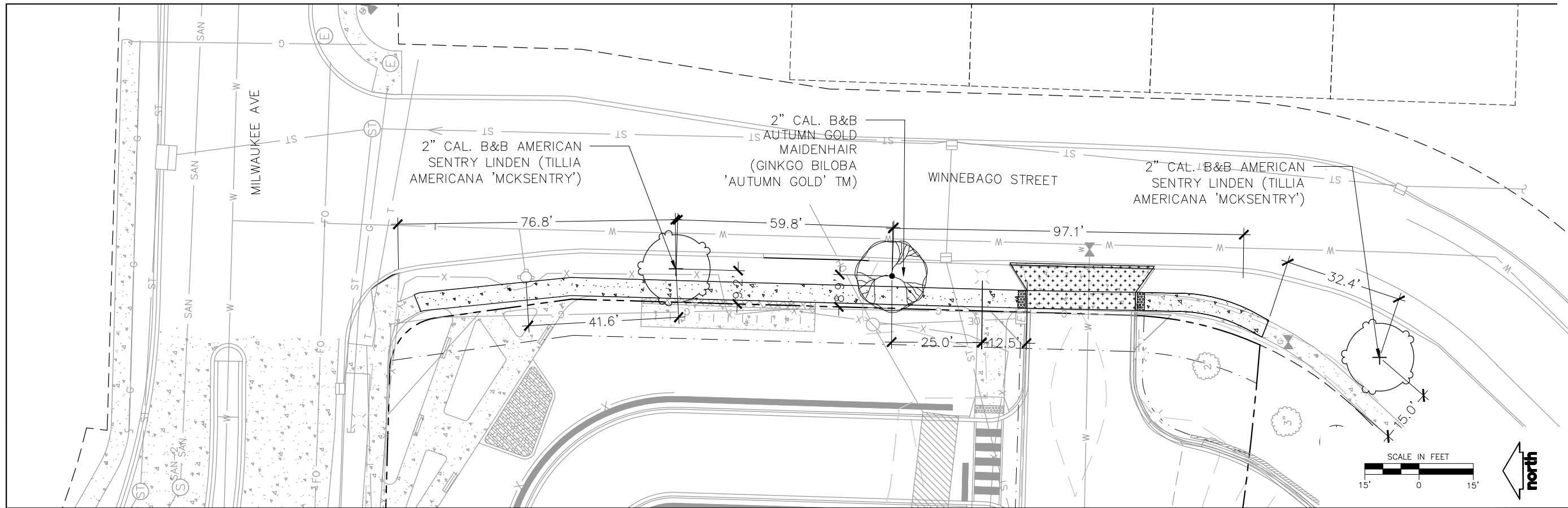
Design/Drawn: CEJ  
Approved: JLF

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:

**L1.1**

JSD PROJECT NO: 15-6830



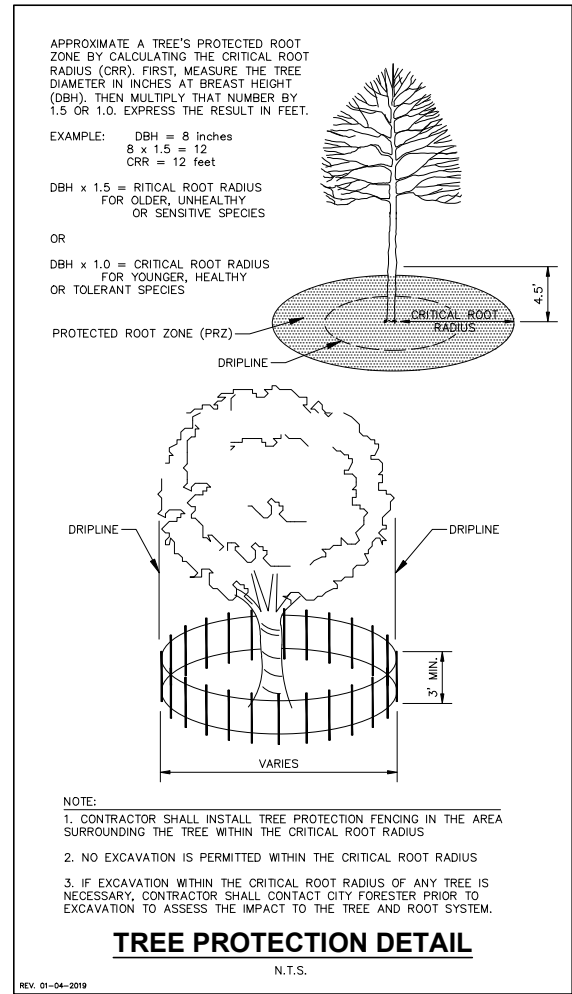
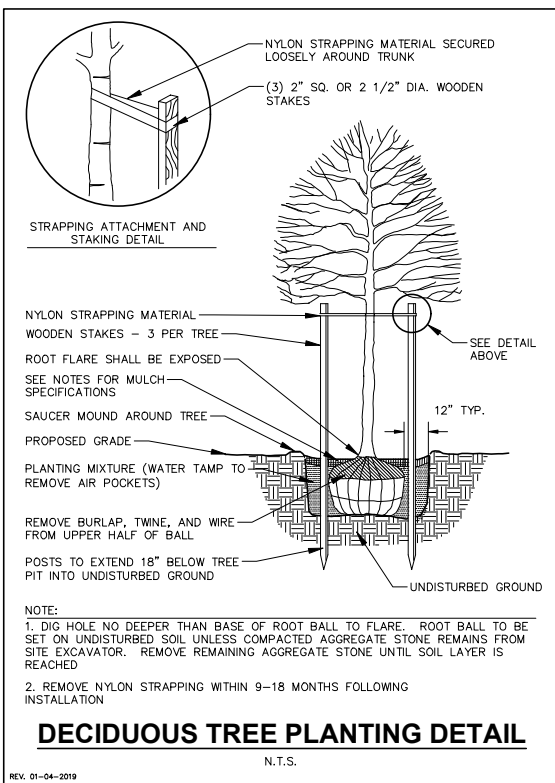
**NOTES**

1. NO TREES, EXCEPT THOSE SHOWN ON THE PLANS, SHALL BE REMOVED. IT IS EXPECTED THAT CONSTRUCTION WILL BE STAGED SUCH THAT EXISTING TREES THAT ARE TO REMAIN WILL BE PRESERVED. ANY REQUESTED TREE REMOVALS FOR CONSTRUCTION SHALL BE REVIEWED IN FURTHER DETAIL WITH CITY FORESTRY, AND, IF A TREE REMOVAL PERMIT WILL BE GRANTED, IT WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE IT CAN BE ISSUED; THE ADDITIONAL TIME IS REQUIRED TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN. CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR ALL TREE REMOVALS IN THE RIGHT OF WAY IDENTIFIED ON PLANS. CONTACT CITY FORESTRY AT 266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.

2. CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING AND ALSO PRIOR TO INSTALLATION OF TREE GRATES. TREE GRATES WILL REQUIRE EXCAVATION TO CONFIRM THAT THERE ARE NO CONFLICTS THAT WOULD PREVENT TREE PLANTINGS. NOTICE PRIOR TO OTHER PLANTINGS IS NECESSARY TO SCHEDULE INSPECTION OF THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

3. ALL TREES SHALL BE PLACED CENTERED IN THE STREET TERRACE.

4. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION -[HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2018/PART1.PDF](http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/PART1.PDF). ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.



File: I:\2016\156830\DWG\15-6830 Landscape\_Sidewalk Plan.dwg Layout: L1.1 Landscape Plan User: gjonas Plotted: Oct 12, 2020 - 3:53pm Xref:s:

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