



Madison, Wisconsin

CITY OF MADISON

CITY ENGINEERING DIVISION

DEPARTMENT OF PUBLIC WORKS

PLAN OF PROPOSED IMPROVEMENT

BAYVIEW TOWNHOUSES - 601 BAY VIEW

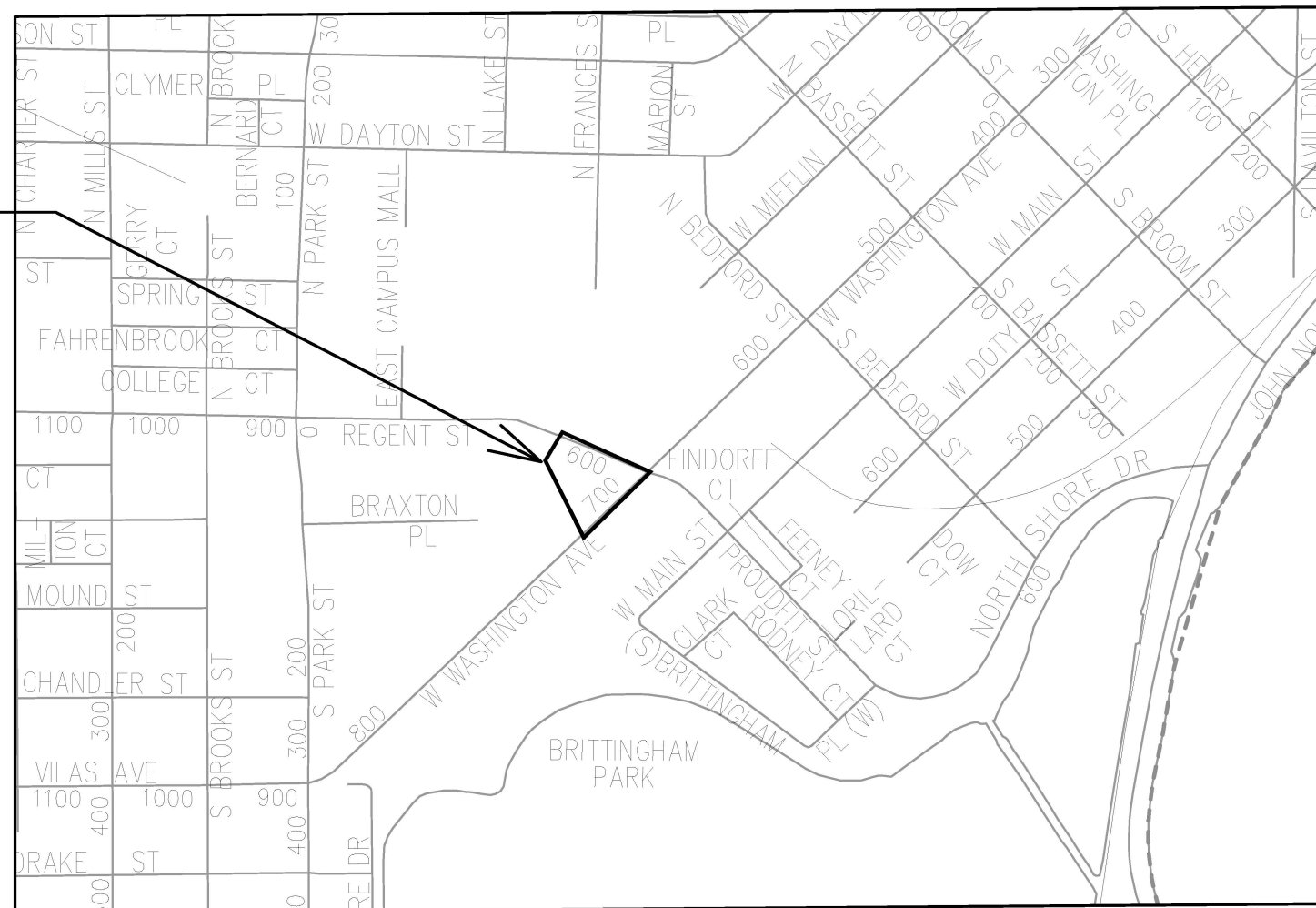
INDEX OF SHEETS

| | |
|---------------------|------------------------|
| SHEET NO. D1-D2 | NOTES AND DETAILS |
| SHEET NO. P1-P4 | STREET PLAN & PROFILES |
| SHEET NO. U1-U3 | UTILITIES PLAN |
| SHEET NO. L1-L2 | LANDSCAPING PLAN |
| SHEET NO. X1-X12 | CROSS SECTIONS |
| NO MAINTENANCE PLAN | |

REVISED 9/21/23

CITY PROJECT NO. 13250
CONTRACT NO. 8956

**PROJECT
LOCATION**



PUBLIC IMPROVEMENT PROJECT
APPROVED

JANUARY 5, 2021

BY THE COMMON COUNCIL
OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN
APPROVED BY:

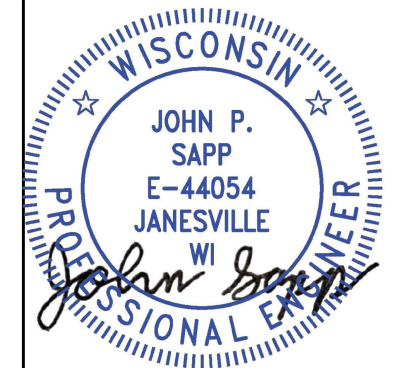
Greg Fries

Oct 27, 2021

City Engineer

Date

STREET GRADES
DESIGNED BY:



Oct 27, 2021

STORM SEWER
DESIGNED BY:

**LATERALS
ONLY**

SANITARY SEWER
DESIGNED BY:

**LATERALS
ONLY**

WATER
DESIGNED BY:

**LATERALS
ONLY**

PLOT SCALE: 1"=X'REF

PLOT NAME: ---

REV. DATE: 10/6/2021 2:49 PM




ORIGINATOR: CITY_OF_MADISON

ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)

DEVELOPER MUST SUBMIT A TRAFFIC CONTROL PLAN TO CITY TRAFFIC ENGINEERING AT LEAST 14 DAYS PRIOR TO THE START OF WORK. WORK SHALL NOT PROCEED UNTIL AN APPROVED TRAFFIC CONTROL PLAN IS IN PLACE.

CONTACT PROJECT ENGINEER AND STREET DESIGNER IKE OKAFOR AT IOKAFOR@CITYOFMADISON.COM FOR CAD AND ALIGNMENT DATA PRIOR TO STAKING.

| CONVENTIONAL SIGNS | |
|---|--|
| FIELD VERIFY ALL UTILITY LOCATIONS | |
| GAS | —— G —— |
| STORM SEWER | —— ST —— |
| SANITARY SEWER | —— SN —— |
| WATER | —— W —— |
| BURIED ELECTRIC | —— E —— |
| OVERHEAD ELECTRIC | —— OH —— |
| POWER POLE |  |
| ADA COMPLIANT RAMP W/ DETECTABLE WARNING FIELD |  |
| COMBUSTIBLE FLUIDS |  |

UNDERDRAINS SHALL BE INSTALLED PER STANDARD DETAIL DRAWING 4.05 FOR 75' ON EACH SIDE OF THE LOW POINT, OR TO THE NEAREST CURB HIGH POINT. ALL UNDERDRAIN SHALL BE WRAPPED.

ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADE OF 0.5% TOWARD STORM SEWER INLETS.

ALL DITCHES SHALL DRAIN WITH A MINIMUM GRADE OF 0.5%

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL TYPICALLY BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.04. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.

CURB STATION AND OFFSETS SHALL BE TO THE **EDGE OF PAVEMENT** UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE **EDGE OF PAVEMENT** UNLESS OTHERWISE INDICATED.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

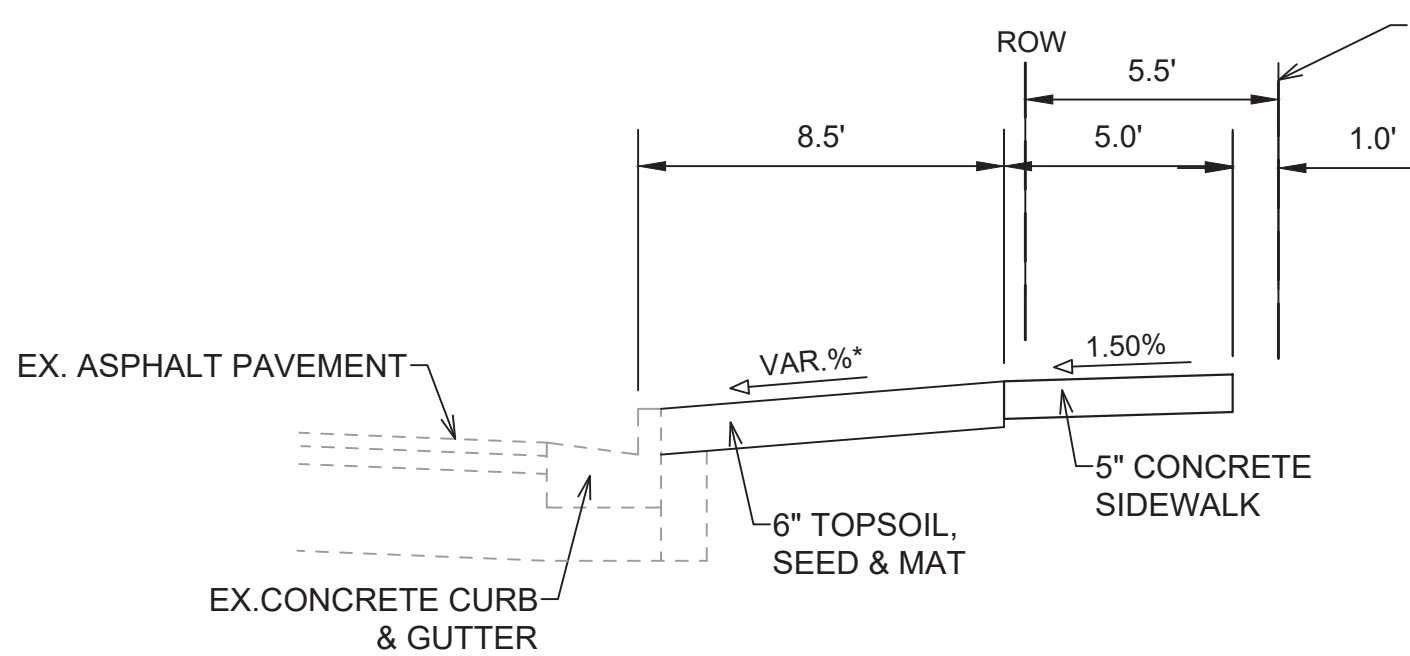
THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PAVEMENT SAWCUTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS SHOWN ON THE PLAN ARE APPROXIMATE.

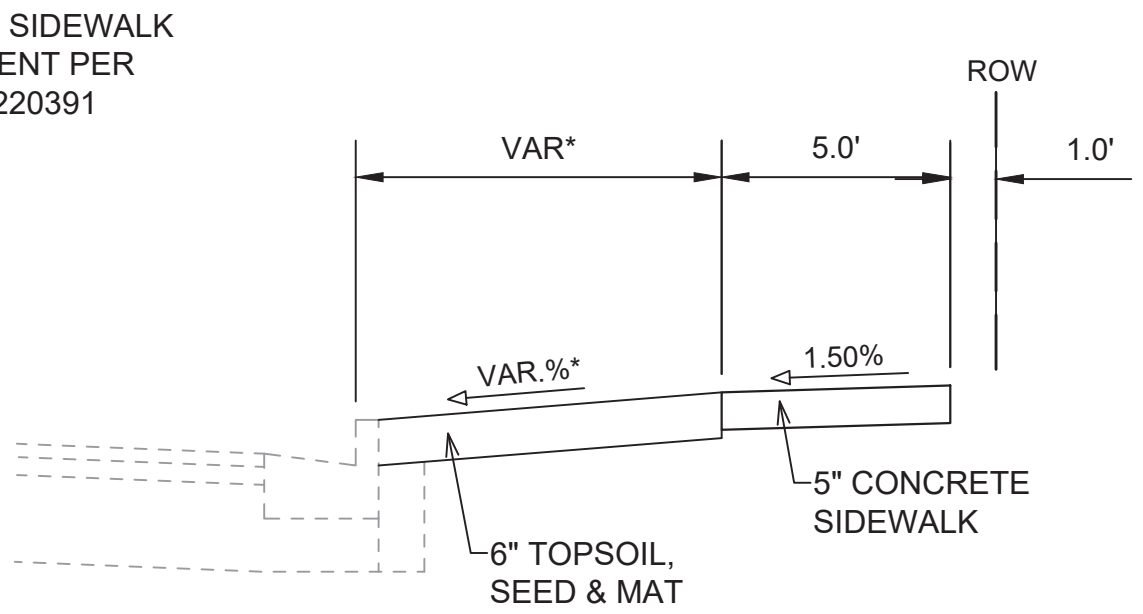
ALL WORK IN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION



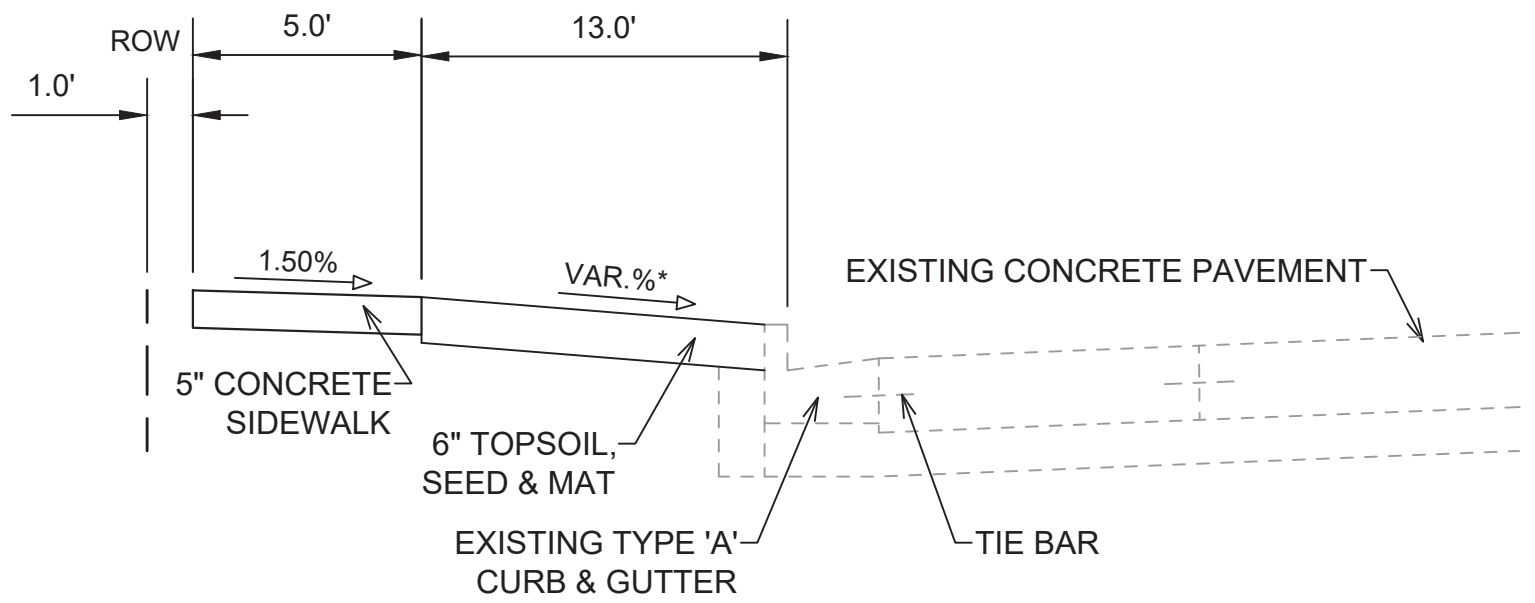
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|-----------------------------|-------------|-----------------------------------|-------|--|-----|-----|
| 13250 | MADISON, WI | 8956 | 13250 | 10/6/2021 2:16 PM | NTS | D-1 |
| STANDARD NOTES AND COMMENTS | | BAYVIEW TOWNHOUSES - 601 BAY VIEW | | M:\DESIGN\Projects\13250\CAD\Streets\13250EN-Details.dwg | | |
| CITY OF MADISON WISCONSIN | | 13250 | | D-1 | | |



TYPICAL SECTION
 REGENT STREET
 STA 10+55 TO STA 15+35
 NOT TO SCALE



TYPICAL SECTION
 REGENT STREET
 STA 15+35 TO STA 16+60
 NOT TO SCALE



TYPICAL SECTION
 WEST WASHINGTON AVE
 STA 34+97 TO STA 36+30
 NOT TO SCALE

NOTES:

* SEE PLAN AND PROFILE AND CROSS SECTIONS FOR SLOPES, ELEVATIONS AND OFFSETS

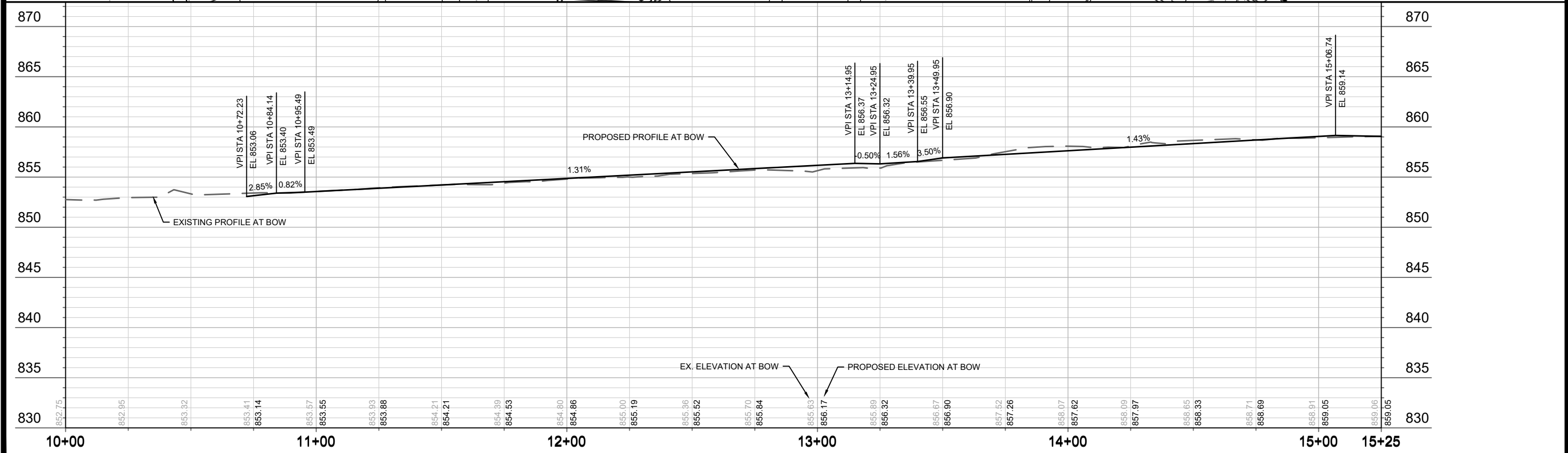
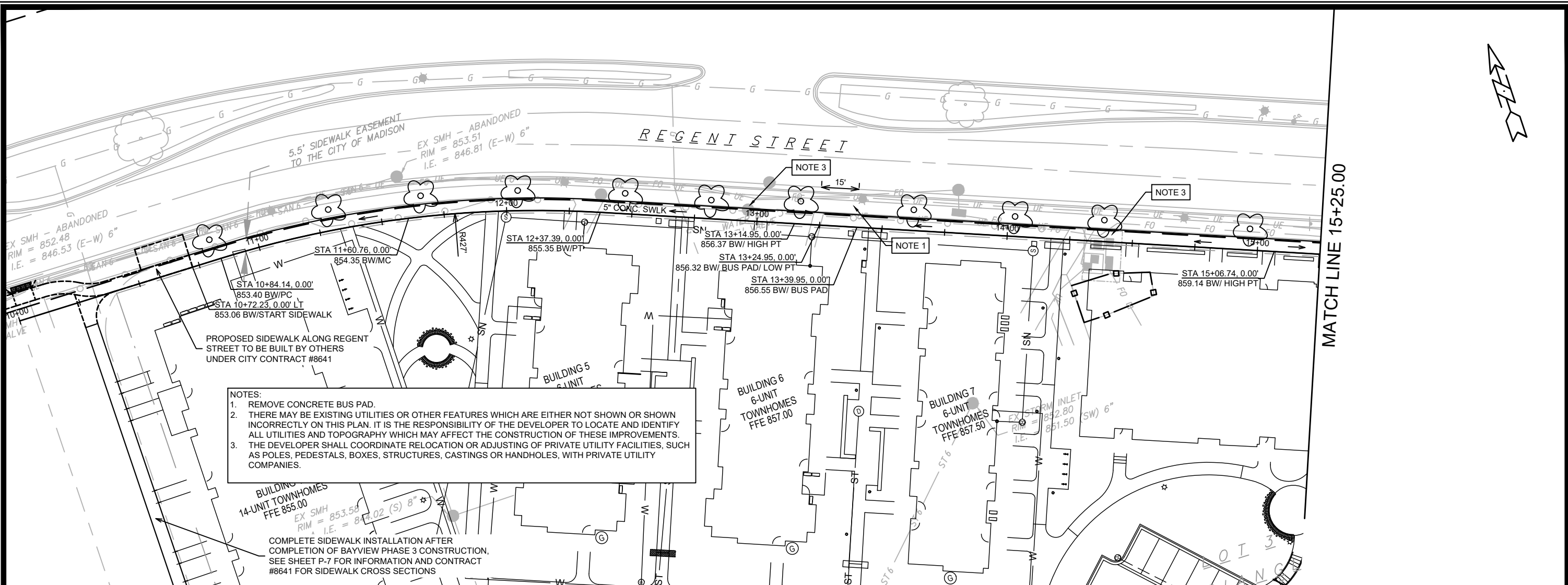
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| Designed By: ID | Scale: NTS | | |
| | | | D-2 |

13250
 MADISON, WI
 8956
 CONTRACT NO:

TYPICAL SECTIONS
 BAYVIEW TOWNHOUSES - 601 BAY VIEW
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13250
 D-2



REGENT STREET - SIDEWALK PLAN AND PROFILE

BAYVIEW TOWNHOUSES - 601 BAY VIEW

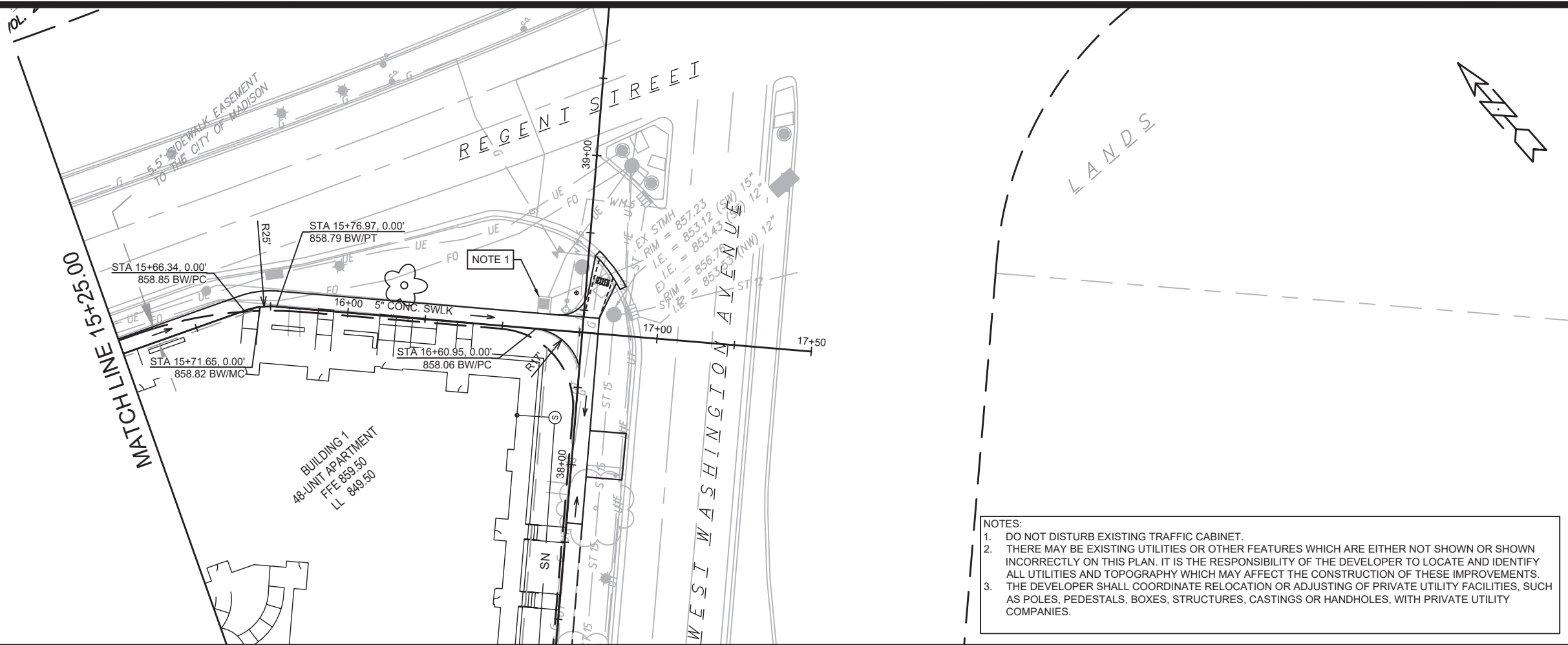
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| | |
|-------------|--------------------------|
| Project No. | 13250 |
| Revision | REVISE REGENT SW, ADD SW |
| Date | 6/3/23 |
| By | AJZ |

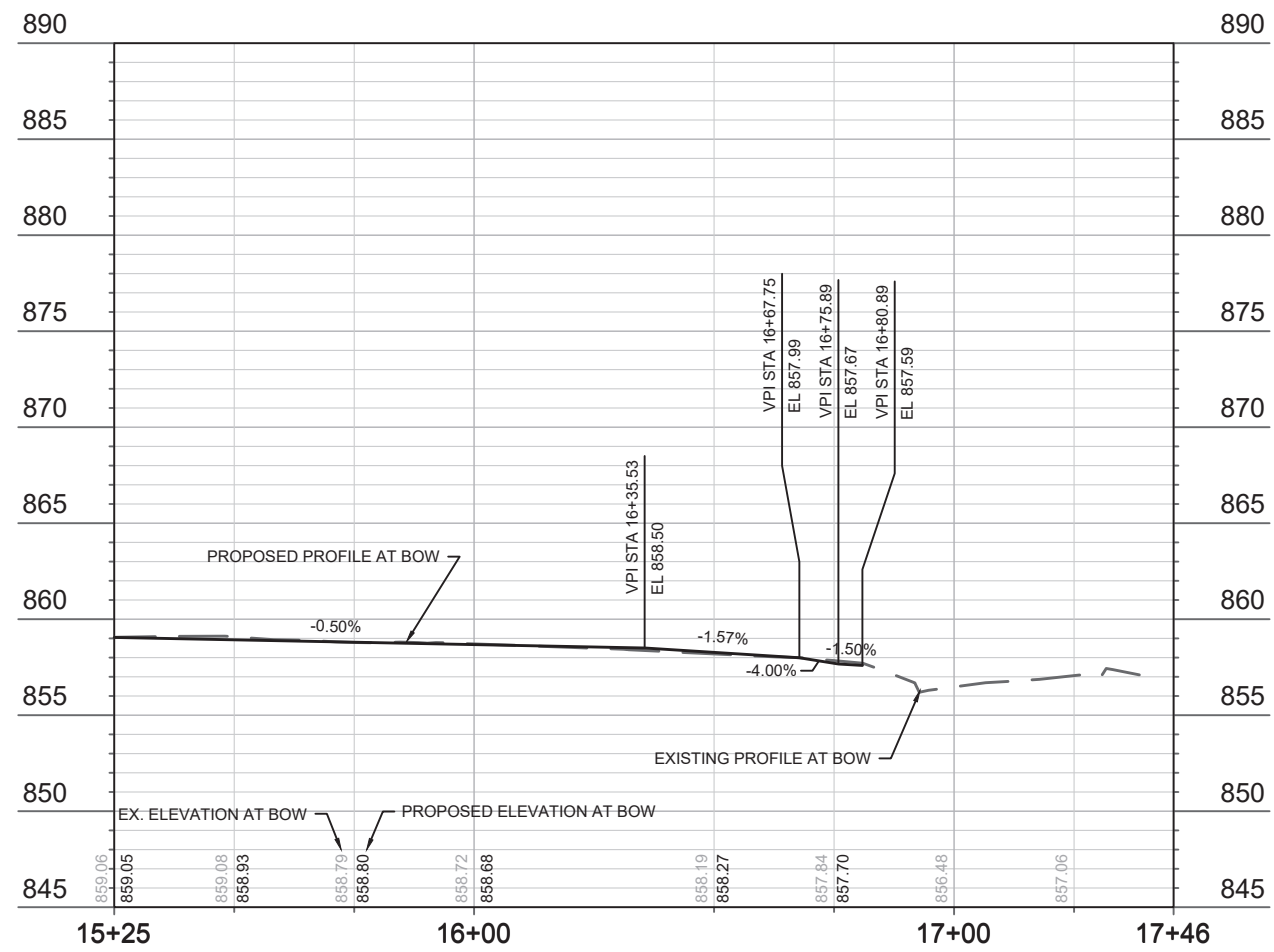
Contract No: 8956

Scale: 1"=40'

P-1



- NOTES:
1. DO NOT DISTURB EXISTING TRAFFIC CABINET.
 2. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
 3. THE DEVELOPER SHALL COORDINATE RELOCATION OR ADJUSTING OF PRIVATE UTILITY FACILITIES, SUCH AS POLES, PEDESTALS, BOXES, STRUCTURES, CASTINGS OR HANDHOLES, WITH PRIVATE UTILITY COMPANIES.

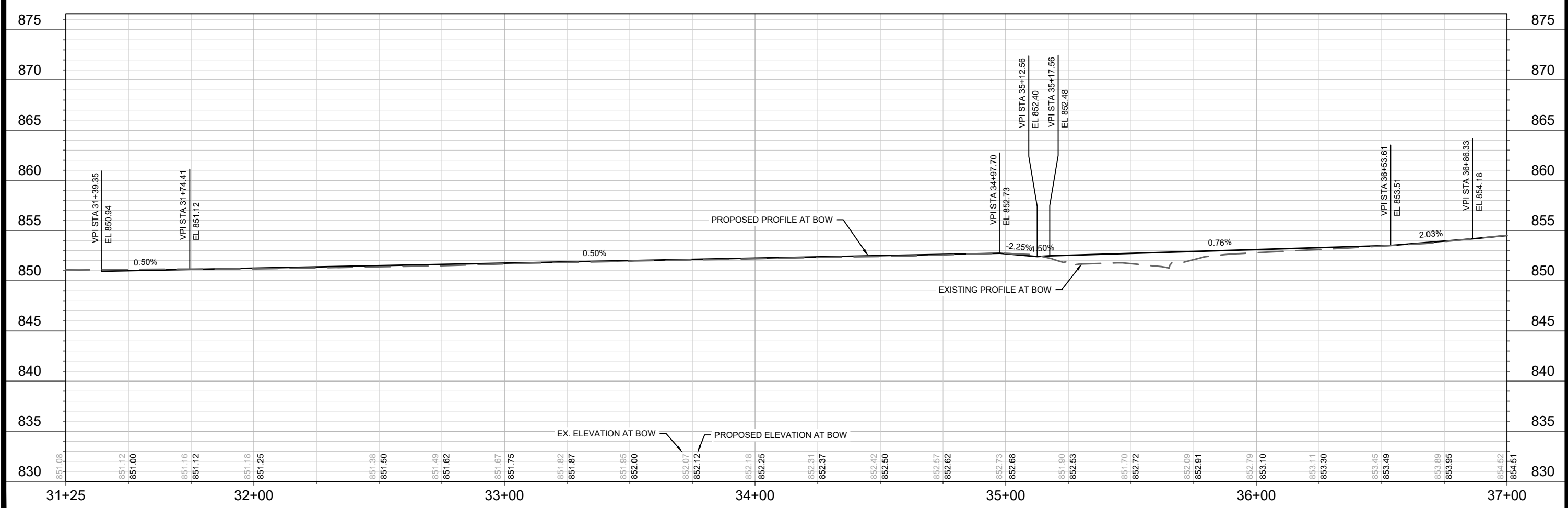
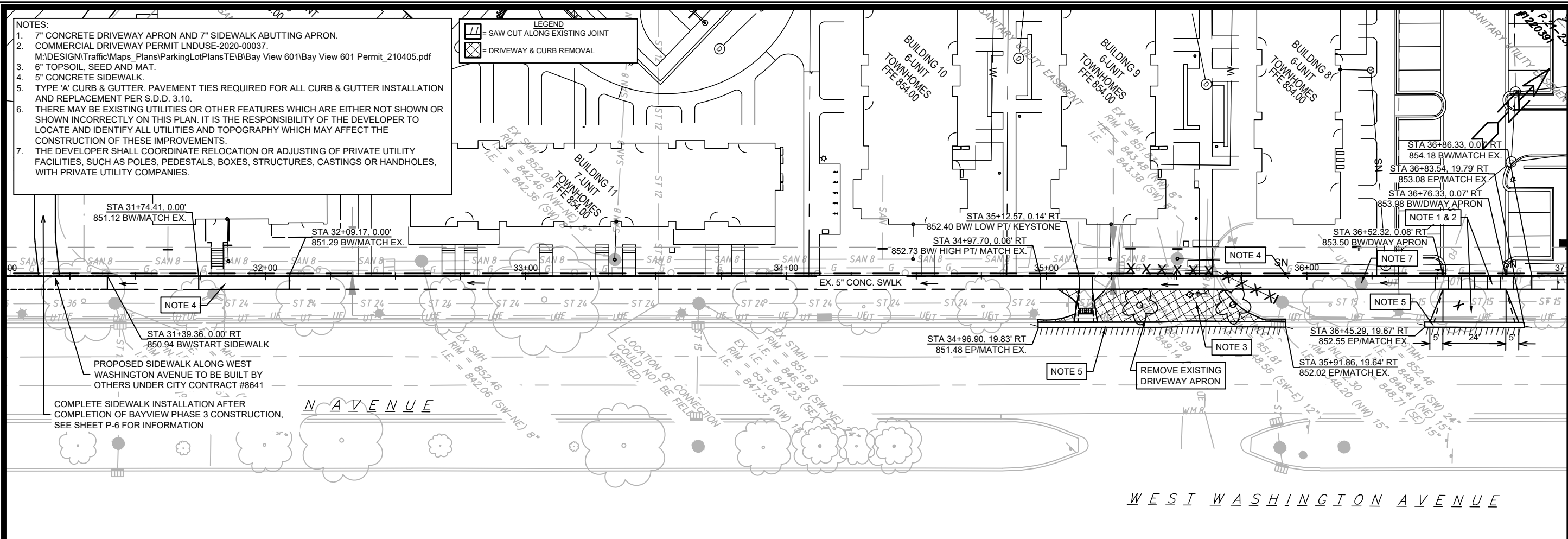


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| MARK | REVISION | DATE | BY |
| 13250 | | | |
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| REGENT STREET - SIDEWALK PLAN AND PROFILE | | | |
| BAYVIEW TOWNHOUSES - 601 BAY VIEW | | | |
| M:\DESIGN\Projects\13250\CAD\Streets\13250EN-PnP.dwg | | | |
| 13250 | | CONTRACT NO: 8956 | |
| P-2 | | MADISON, WI | |

- NOTES:
- 7" CONCRETE DRIVEWAY APRON AND 7" SIDEWALK ABUTTING APRON.
 - COMMERCIAL DRIVEWAY PERMIT LNDUSE-2020-00037.
M:\DESIGN\Traffic\Maps_Plans\ParkingLotPlans\TE\B\Bay View 601\Bay View 601 Permit_210405.pdf
 - 6" TOPSOIL, SEED AND MAT.
 - 5" CONCRETE SIDEWALK.
 - TYPE 'A' CURB & GUTTER. PAVEMENT TIES REQUIRED FOR ALL CURB & GUTTER INSTALLATION AND REPLACEMENT PER S.D.D. 3.10.
 - THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
 - THE DEVELOPER SHALL COORDINATE RELOCATION OR ADJUSTING OF PRIVATE UTILITY FACILITIES, SUCH AS POLES, PEDESTALS, BOXES, STRUCTURES, CASTINGS OR HANDHOLES, WITH PRIVATE UTILITY COMPANIES.

LEGEND

- [Hatched Box] = SAW CUT ALONG EXISTING JOINT
- [Cross-hatched Box] = DRIVEWAY & CURB REMOVAL



13250

MADISON, WI

8956

CONTRACT NO:

W. WASHINGTON AVE - SIDEWALK PLAN AND PROFILE

BAYVIEW TOWNHOUSES - 601 BAY VIEW

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13250

P-3

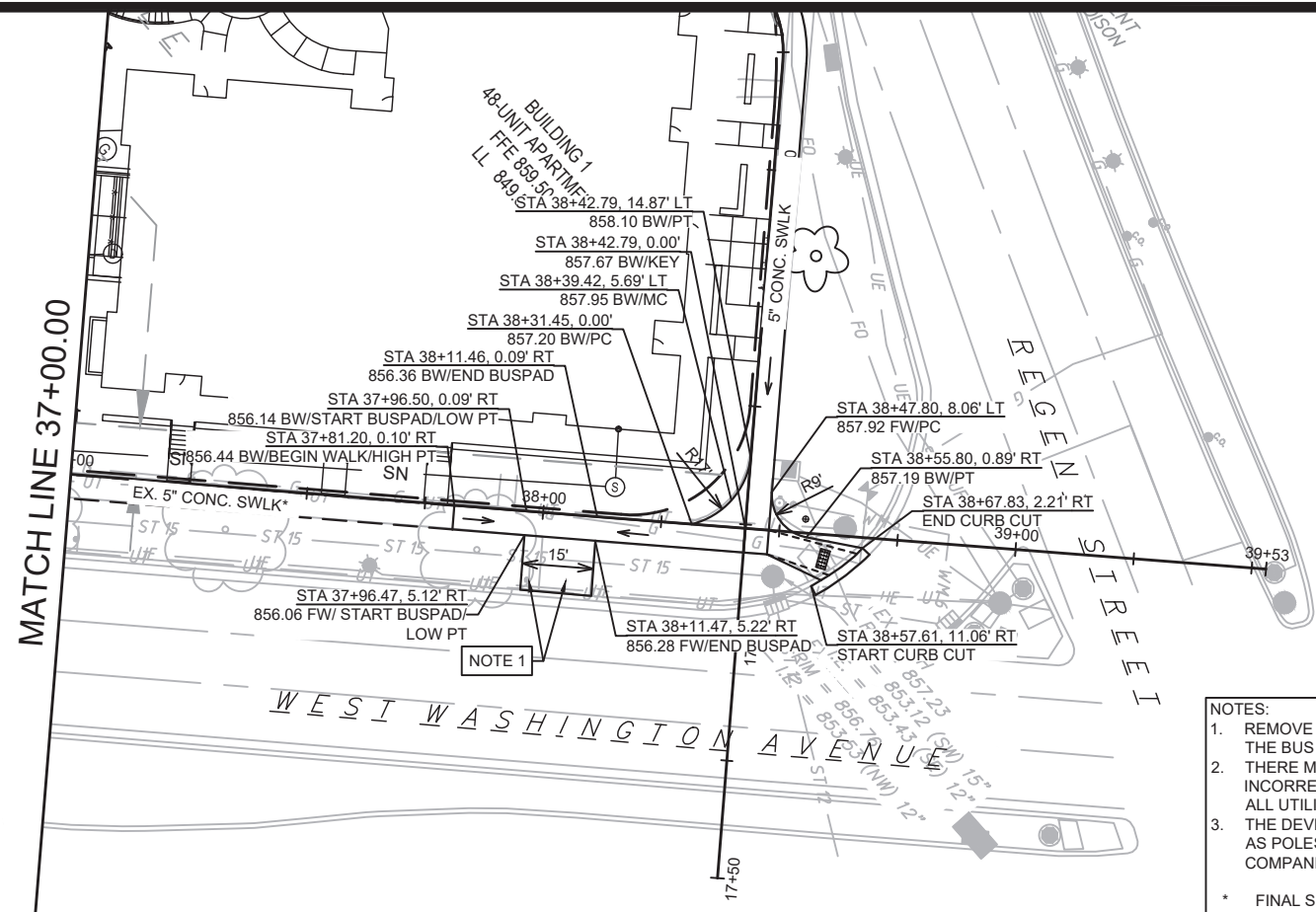
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|-------|-----------------------|-------|
| REV# | REV/ISSUE | DATE |
| 02/23 | REVISE SW MATCH POINT | 02/23 |

Scale: 1"=40'

Designed By: JG

Revision: 13250

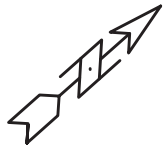
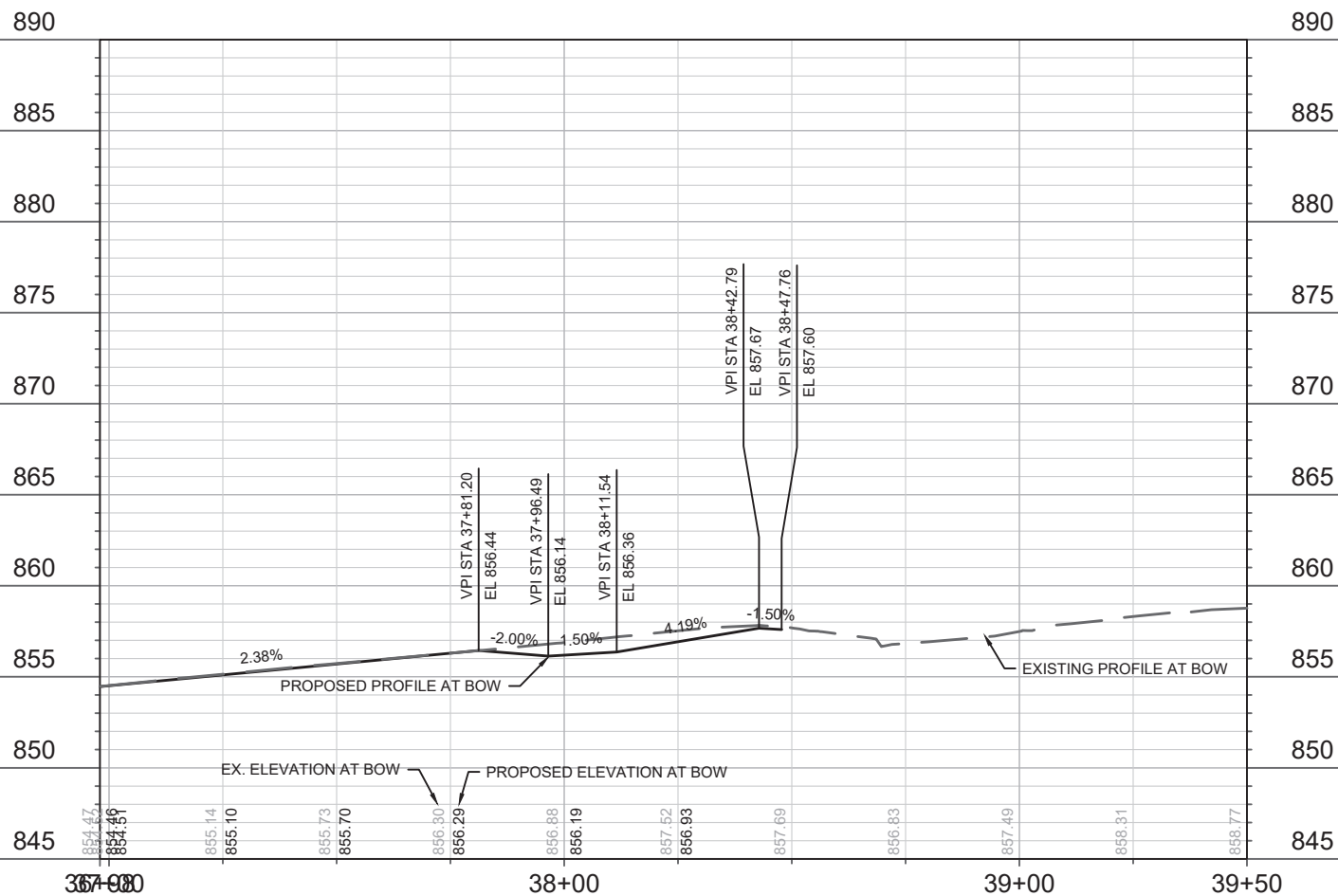
Date: 02/23/23 11:46 AM



NOTES:

1. REMOVE AND REPLACE 5" CONCRETE BUS PAD. DEVELOPER SHALL COORDINATE THE RELOCATION OF THE BUS SIGN WITH CITY METRO AND TRAFFIC ENGINEERING.
2. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
3. THE DEVELOPER SHALL COORDINATE RELOCATION OR ADJUSTING OF PRIVATE UTILITY FACILITIES, SUCH AS POLES, PEDESTALS, BOXES, STRUCTURES, CASTINGS OR HANDHOLES, WITH PRIVATE UTILITY COMPANIES.

* FINAL SIDEWALK REPAIR LIMITS SHALL BE DETERMINED BY CONSTRUCTION ENGINEER.



| | | | |
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| MARK | REVISION | DATE | BY |
| 13250 | 10/8/2021 2:31 PM | | P-4 |

13250
MADISON, WI
8956
CONTRACT NO:

W. WASHINGTON AVE - SIDEWALK PLAN AND PROFILE
BAYVIEW TOWNHOUSES - 601 BAY VIEW
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13250
P-4

0709-233-0102-5
CITY OF MADISON CDA
702 BRAXTON PL

****WORK FROM THIS PLAN INCLUDES SIDEWALK, CURB RAMP, AND DRIVEWAY APRON CONSTRUCTION AS WELL AS TERRACE RESTORATION ALONG THE EAST SIDE OF LA MARIPOSA LANE. CONNECT LA MARIPOSA SIDEWALK THE SHARED-USE PATH CONSTRUCTED UNDER PUBLIC WORKS CONTRACT #8641.****

STA 108+96.82, 45.13' LT
854.16 EP/PC
STA 108+97.09, 43.41' LT
854.14 EP/MC
STA 108+97.70, 43.25' LT
854.15 EP/PC

10' WIDE PRIVATE UTILITIES
FASEMENT, PER DOC.#1220391
TO BE RELEASED UPON REMOVAL
OF EXISTING UTILITIES. SEE NOTE
ON SHEET 5.

STA 109+02.56, 45.91' LT-
854.44 BW/PC
RW STA 109+03.35, 56.03' LT
854.45 BW

STA 109+04.53, 51.90' LT
854.52 BW
STA 109+02.36, 43.69' LT
854.41 BW/MC
STA 109+02.96, 42.31' LT

854.39 BW/PC
STA 109+07.63, 41.87' LT
854.52 BW/DWY MATCH
STA 109+09.50, 41.41' LT

854.57 BW/MC
STA 109+11.66, 40.64' LT
854.62 BW/DWY MATCH
STA 109+15.50, 38.69' LT

854.72 BW/DWY MATCH
STA 109+16.20, 38.28' LT
854.74 BW/PC

7-INCH CONCRETE DRIVEWAY
COMPLETED UNDER THIS
PROJECT

5-INCH CONCRETE SIDEWALK
COMPLETED UNDER THIS
PROJECT

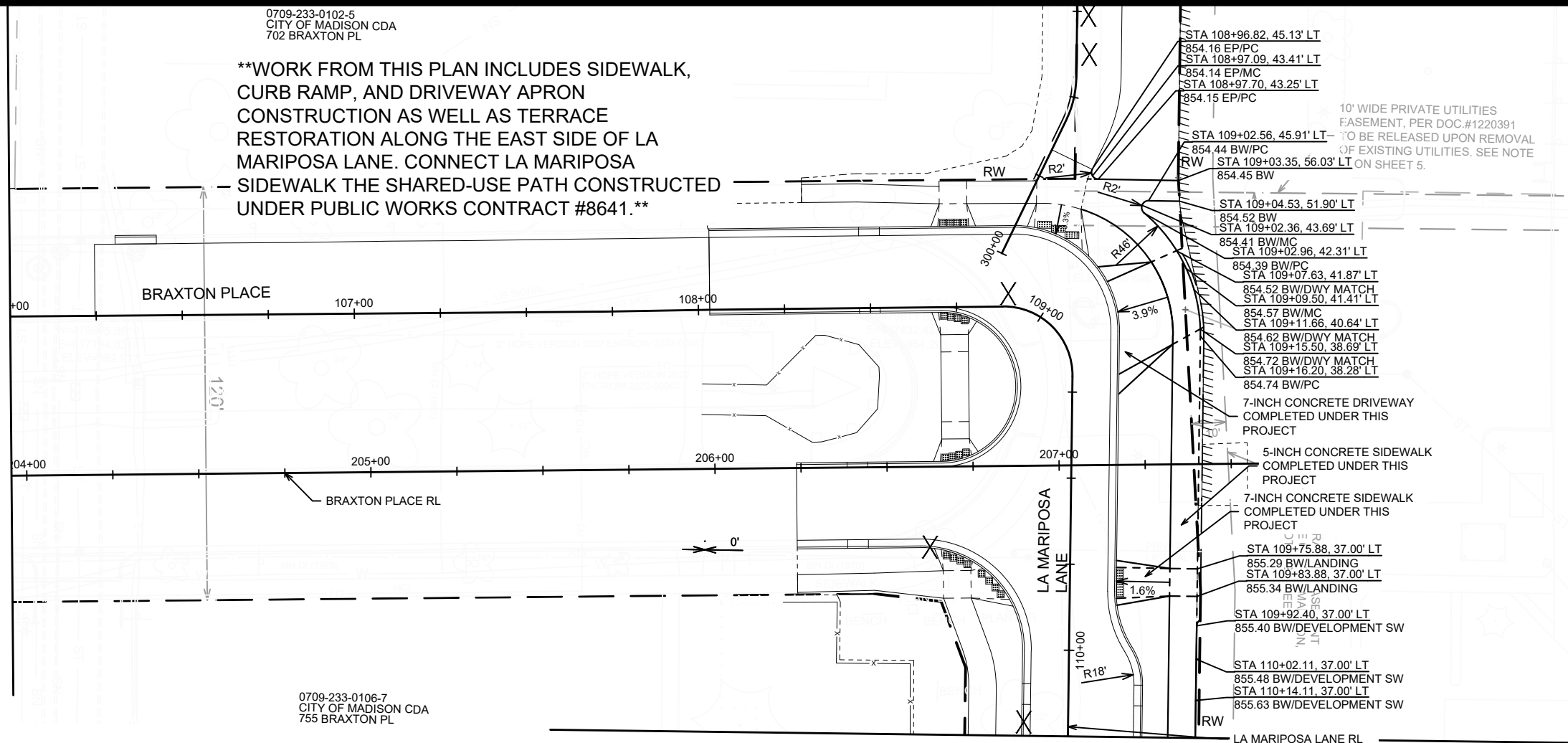
7-INCH CONCRETE SIDEWALK
COMPLETED UNDER THIS
PROJECT

STA 109+75.88, 37.00' LT
855.29 BW/LANDING
STA 109+83.88, 37.00' LT
855.34 BW/LANDING

STA 109+92.40, 37.00' LT
855.40 BW/DEVELOPMENT SW

STA 110+02.11, 37.00' LT
855.48 BW/DEVELOPMENT SW
STA 110+14.11, 37.00' LT
855.63 BW/DEVELOPMENT SW

LA MARIPOSA LANE RL



0709-233-0106-7
CITY OF MADISON CDA
755 BRAXTON PL

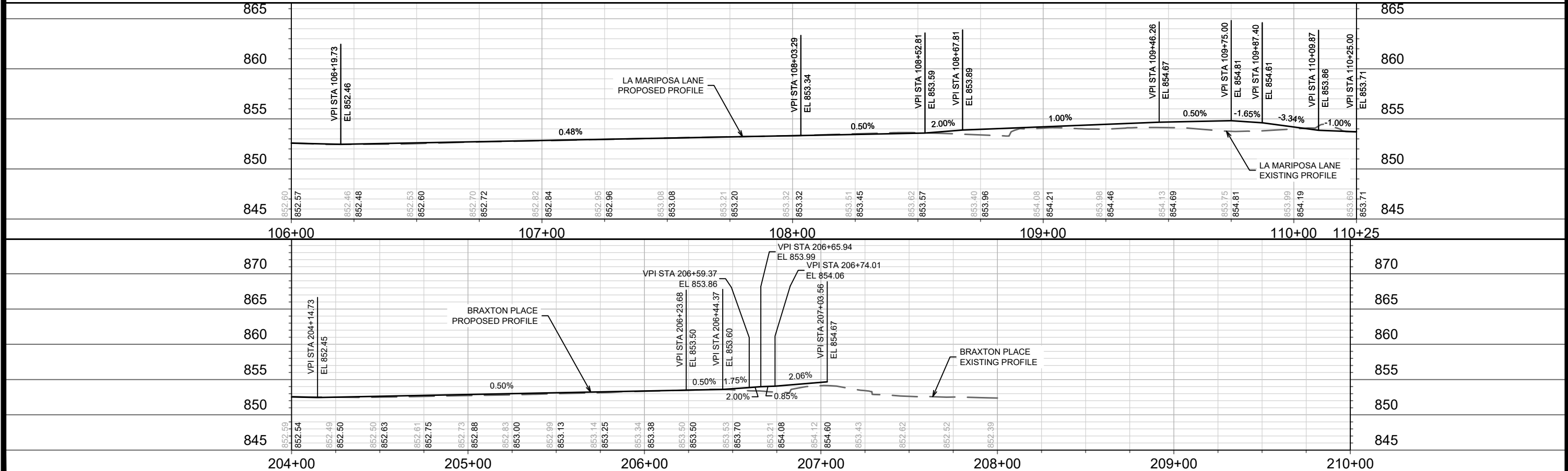
LEGEND

X CLEARING & GRUBBING

/// SAWING ASPHALT

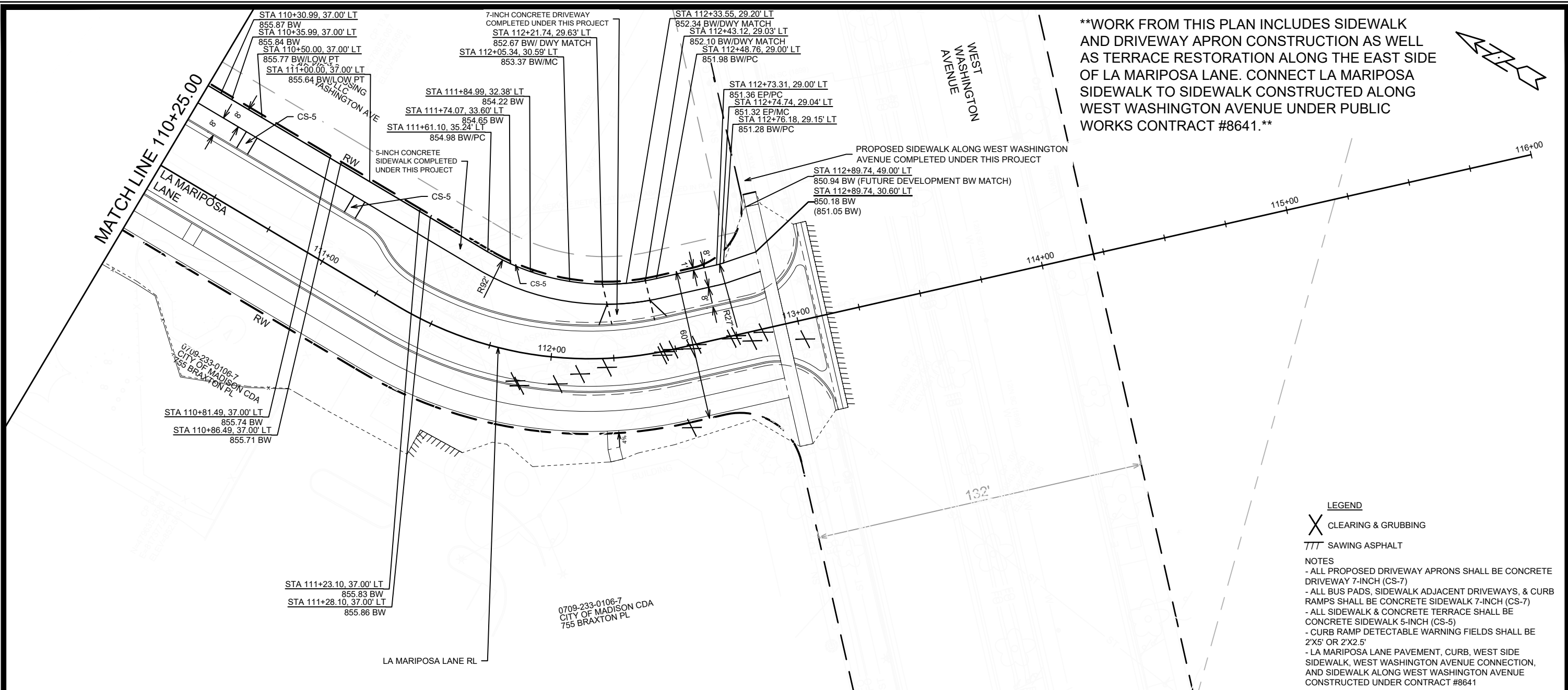
NOTES

- ALL PROPOSED DRIVEWAY APRONS SHALL BE CONCRETE DRIVEWAY 7-INCH (CS-7)
- ALL BUS PADS, SIDEWALK ADJACENT DRIVEWAYS, & CURB RAMPS SHALL BE CONCRETE SIDEWALK 7-INCH (CS-7)
- ALL SIDEWALK & CONCRETE TERRACE SHALL BE CONCRETE SIDEWALK 5-INCH (CS-5)
- CURB RAMP DETECTABLE WARNING FIELDS SHALL BE 2'X5' OR 2'X2.5'
- BRAXTON PLACE AND LA MARIPOSA LANE PAVEMENT AND CURB CONSTRUCTED UNDER CONTRACT #8641 AS WELL AS BRAXTON PLACE SOUTH SIDE AND LA MARIPOSA LANE WEST SIDEWALKS AND CURB RAMPS AS WELL AS THE SHARED-USE PATH BETWEEN BRAXTON PLACE AND REGENT STREET.



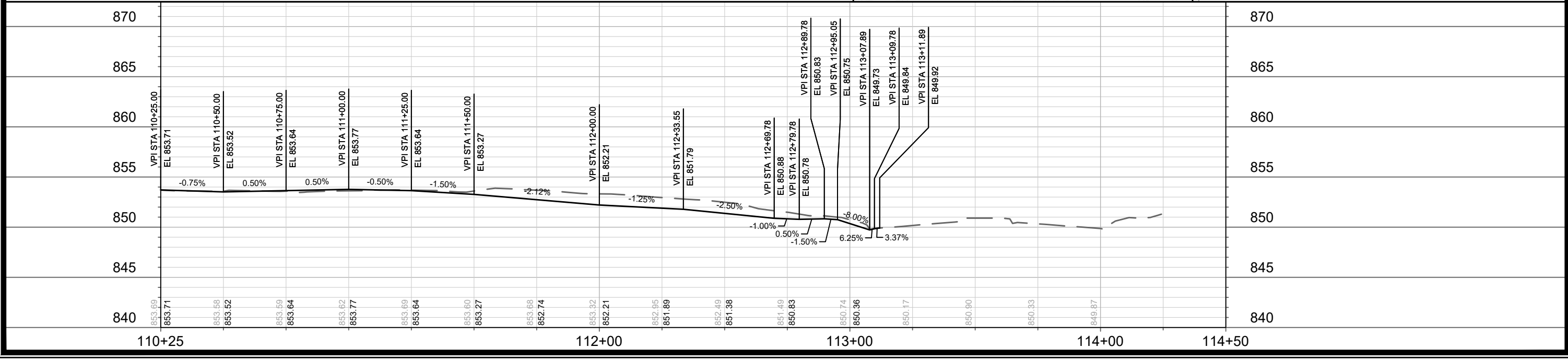
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|---------------------------|-----------------------------------|------|--------------|
| 13250 | MADISON, WI | 8956 | CONTRACT NO: |
| LA MARIPOSA LANE SIDEWALK | BAYVIEW TOWNHOUSES - 601 BAY VIEW | | |
| | | | |
| 13250 | P-5 | | |

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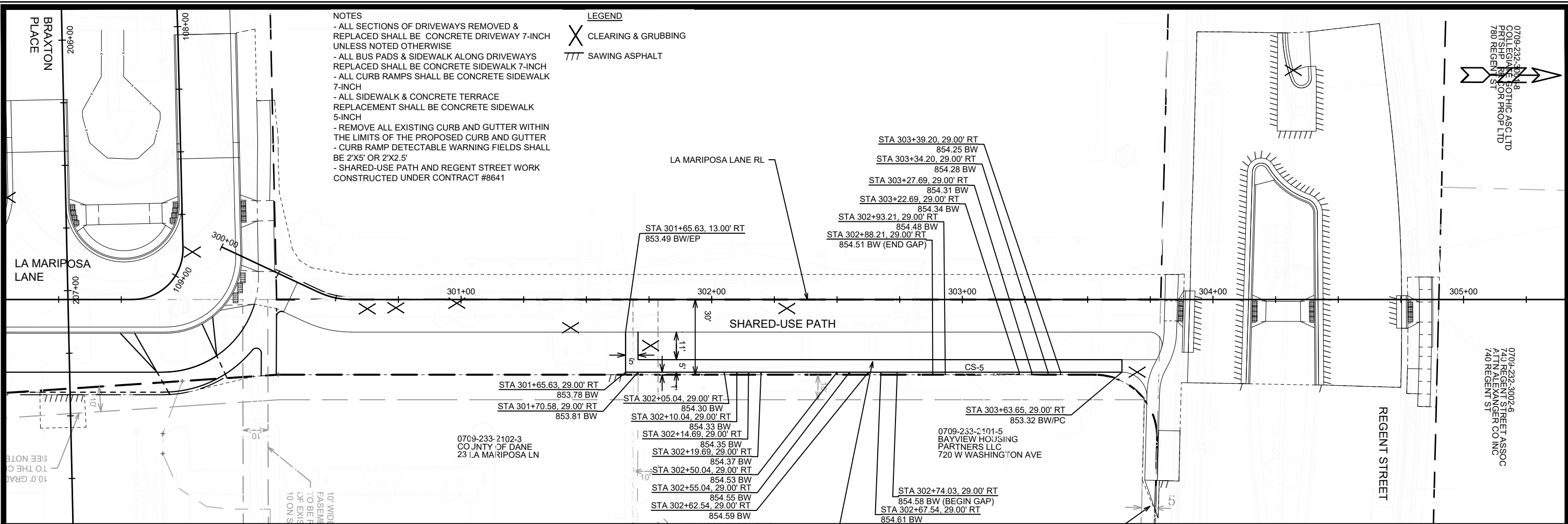


****WORK FROM THIS PLAN INCLUDES SIDEWALK AND DRIVEWAY APRON CONSTRUCTION AS WELL AS TERRACE RESTORATION ALONG THE EAST SIDE OF LA MARIPOSA LANE. CONNECT LA MARIPOSA SIDEWALK TO SIDEWALK CONSTRUCTED ALONG WEST WASHINGTON AVENUE UNDER PUBLIC WORKS CONTRACT #8641.****

- LEGEND**
- X CLEARING & GRUBBING
 - /// SAWING ASPHALT
- NOTES**
- ALL PROPOSED DRIVEWAY APRONS SHALL BE CONCRETE DRIVEWAY 7-INCH (CS-7)
 - ALL BUS PADS, SIDEWALK ADJACENT DRIVEWAYS, & CURB RAMPS SHALL BE CONCRETE SIDEWALK 7-INCH (CS-7)
 - ALL SIDEWALK & CONCRETE TERRACE SHALL BE CONCRETE SIDEWALK 5-INCH (CS-5)
 - CURB RAMP DETECTABLE WARNING FIELDS SHALL BE 2'X5' OR 2'X2.5'
 - LA MARIPOSA LANE PAVEMENT, CURB, WEST SIDE SIDEWALK, WEST WASHINGTON AVENUE CONNECTION, AND SIDEWALK ALONG WEST WASHINGTON AVENUE CONSTRUCTED UNDER CONTRACT #8641

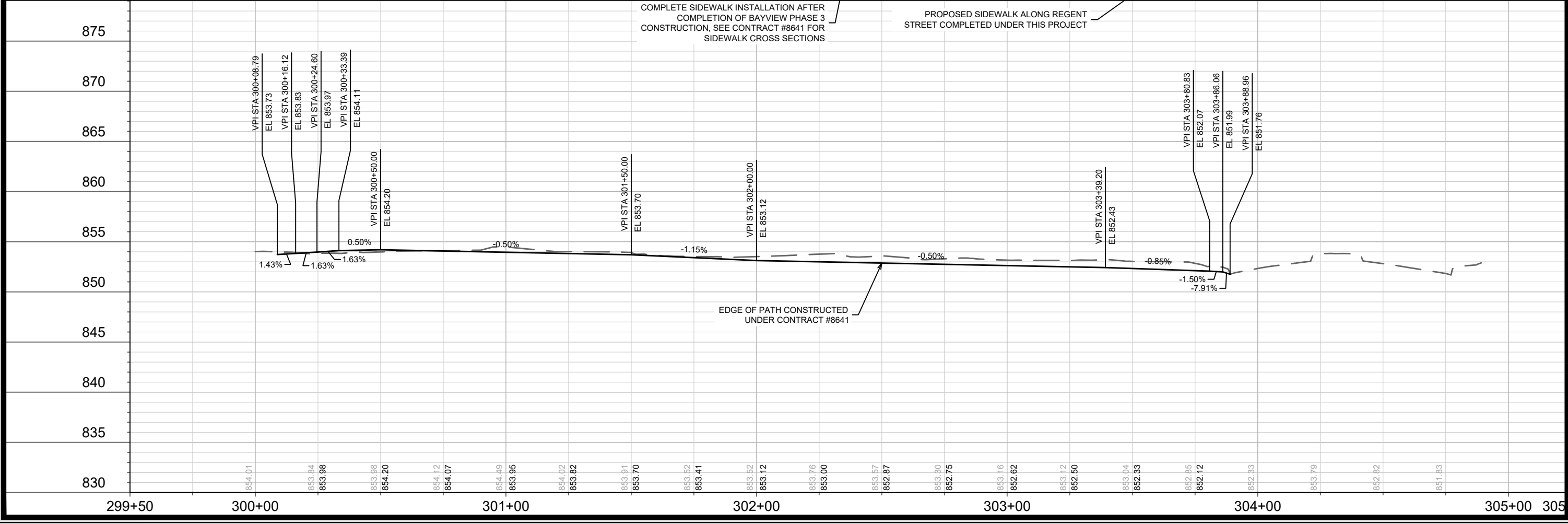


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|--|-------------|----------|-----------------|
| 13250 | MADISON, WI | 8956 | CONTRACT NO: |
| | | | |
| LA MARIPOSA LANE SIDEWALK BAYVIEW TOWNHOUSES - 601 BAY VIEW | | | |
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| 13250 | P-6 | 6/2/23 | DATE |
| AZ | BY | 11:46 AM | SCALE: 1" = 40' |
| 13250 | P-6 | 6/2/23 | DATE |
| AZ | BY | 11:46 AM | SCALE: 1" = 40' |



- NOTES**
- ALL SECTIONS OF DRIVEWAYS REMOVED & REPLACED SHALL BE CONCRETE DRIVEWAY 7-INCH UNLESS NOTED OTHERWISE
 - ALL BUS PADS & SIDEWALK ALONG DRIVEWAYS REPLACED SHALL BE CONCRETE SIDEWALK 7-INCH
 - ALL CURB RAMPS SHALL BE CONCRETE SIDEWALK 7-INCH
 - ALL SIDEWALK & CONCRETE TERRACE REPLACEMENT SHALL BE CONCRETE SIDEWALK 5-INCH
 - REMOVE ALL EXISTING CURB AND GUTTER WITHIN THE LIMITS OF THE PROPOSED CURB AND GUTTER
 - CURB RAMP DETECTABLE WARNING FIELDS SHALL BE 2'X5' OR 2'X2.5'
 - SHARED-USE PATH AND REGENT STREET WORK CONSTRUCTED UNDER CONTRACT #8641

- LEGEND**
- X CLEARING & GRUBBING
 - /// SAWING ASPHALT



0709-233-3004-8
COLLEGIATE BOTHC ASC LTD
PARTSHIP
780 REGENT ST
MADISON, WI

0709-233-3000-6
REGENT STREET ASSOC
ATTN: GREGORY J. CO INC
740 REGENT ST
MADISON, WI

| | | |
|----------------------|--------------------------|-----|
| REV# | DATE | BY |
| 6/2/23 | 6/2/23 | ALZ |
| ADDED SIDEWALK SHEET | | |
| REVISION | | |
| DESIGNED BY: ALZ | DATE: 6/27/2023 11:46 AM | |
| PROJECT NO: | 13250 | |
| SHEET NO: | P-7 | |

13250
MADISON, WI
8956
CONTRACT NO:

SHARED-USE PATH ADJACENT SIDEWALK
BAYVIEW TOWNHOUSES - 601 BAY VIEW



13250
P-7

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- NOTES:
1. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
 2. THE DEVELOPER SHALL COORDINATE RELOCATION OR ADJUSTING OF EXISTING UTILITY FACILITIES, SUCH AS POLES, PEDESTALS, BOXES, STRUCTURES, CASTINGS OR HANDHOLES, WITH UTILITY OWNER.
 3. PLUG.
 4. STRUCTURE MUST HAVE 5' MINIMUM SEPERATION FROM TREE TRUNK.
 5. TREE PROTECGTION FENCING.

REVISED 9/21/23

BUILDING 2
25-UNIT APARTMENT
FFE 856.00
LL 846.00

BUILDING 11
7-UNIT
TOWNHOMES
FFE 854.00

10.0' SANITARY UTILITY EASEMENT

TWO (2) 15' - 12" PRIVATE STORM PIPES @ 9.12%
WITH TYPE A SLURRY BETWEEN PIPES

STA 33+12.32, 4.56' LT
PROPOSED PRIVATE 3 X 3 SAS
PROP. RIM= 851.86
EI (NE)= 848.10 (PROP. 15")
EI (SE)= 847.86 (PROP. 12")

22' - 15" PRIVATE
STORM PIPE @ 0.36%

81' - 15" PRIVATE
STORM PIPE @ 0.33%

CLEANOUT
UPSTREAM OF WYE

8"(EXISTING) x 4" WYE
EI (NW)= 842.46

STA 34+14.83, 4.77' LT
PROPOSED PRIVATE STORM STRUCTURE
PROP. RIM= 852.33
EI (NW)= 848.47 (PROP. 15")
EI (SW)= 848.45 (PROP. 15")

EX STMH
RIM = 851.63
I.E. = 846.68 (SW-NE) 24"
I.E. = 847.23 (SE) 15"

EX INLET
RIM = 851.08
I.E. = 847.33 (NW) 15"

5% MAX DEFLECTION IN
PRIVATE STORM PIPE

LOCATION OF CONNECTION
COULD NOT BE FIELD
VERIFIED.

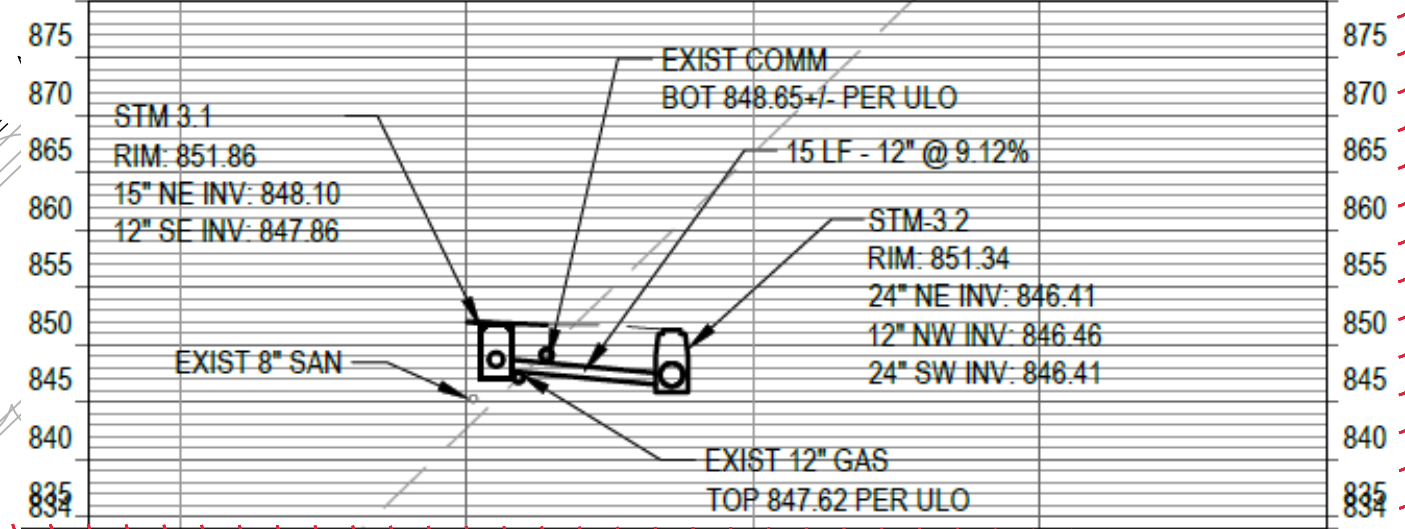
STA 33+14.96, 10.56' RT
PROPOSED PRIVATE 3 X 3 SAS
PROP. RIM= 851.34
EI (NE)= 846.41 (EX. 24")
EI (NW)= 846.46 (PROP. 12")
EI (SW)= 846.41 (EX. 24")

EX STMH
RIM = 852.46
I.E. = 842.06 (SW-NE) 8"

27' - 6" D.I. WATER
SERVICE

15' - 6" D.I. WATER
SERVICE

EX STMH
RIM = 850.52
I.E. = 844.67 (SW-NE) 24"
I.E. = 844.67 (SE) 15"



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MADISON, WI
8956
CONTRACT NO.:

W WASHINGTON AVE - UTILITIES PLAN
BAYVIEW TOWNHOUSES - 601 BAY VIEW
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U-1

- NOTE
1. REMOVE AND REPLACE EXISTING HYDRANT WITH NEW HYDRANT AND 6" WATER VALVE AT PROPOSED TERRACE. HYDRANT SHALL BE AT LEAST 3' FROM OUTSIDE EDGE OF 24" STORM SEWER. CONTRACTOR SHALL CONTACT THE CONSTRUCTION SUPERVISOR JEFF BELSHAW AT (608) 206-3856 OR (608) 261-9835 FOR MADISON WATER UTILITY, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 2. REMOVE EXISTING STORM PIPES & INLETS AND STRUCTURE.
 3. PLUG
 4. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
 5. THE DEVELOPER SHALL COORDINATE RELOCATION OR ADJUSTING OF EXISTING UTILITY FACILITIES, SUCH AS POLES, PEDESTALS, BOXES, STRUCTURES, CASTINGS OR HANDHOLES, WITH UTILITY OWNER.

BUILDING 8
6-UNIT
TOWNHOMES
FFE 854.00

BUILDING 9
6-UNIT
TOWNHOMES
FFE 854.00

BUILDING 10
6-UNIT
TOWNHOMES
FFE 854.00

PRIV. STORM STRUCTURE
RIM = 853.00'
EI (N) = 847.66 (18" RCP)
EI (NW) = 843.23 (6" PVC)
EI (SE) = 847.56 (12" RCP)

PRIV. SAN STRUCTURE
RIM = 853.24
EI (NE) = 844.29 (8" PVC)
EI (NW) = 845.80 (4" PVC)
EI (SW) = 844.19 (8" PVC)

PRIVATE 19 LF - 12"
RCP @ 0.26%

STA 36+35.40, 10.00' RT
PROPOSED STORM STRUCTURE
PROP. RIM= 852.77
EI (NW)= 847.51' (PROP. 12" RCP)

78" - 8" PVC @ 1%

EX STMH
RIM = 852.46
I.E. = 848.41 (SW) 24"
I.E. = 848.41 (NE) 15"
I.E. = 848.71 (SE) 15"

EX SAN
RIM = 851.83
I.E. = 843.48 (NW) 8"
I.E. = 843.38 (SW) 8"

STA 35+50.22, 6.61' LT
EX SANITARY STRUCTURE
EI (NE)= 842.50 (PROP. 8" PVC)
EI (NW)= 843.48 (EX. 8" PVC)
EI (SW)= 843.38 (EX. 8" PVC)

EX INLET
RIM = 852.30
I.E. = 848.20 (NW) 15"

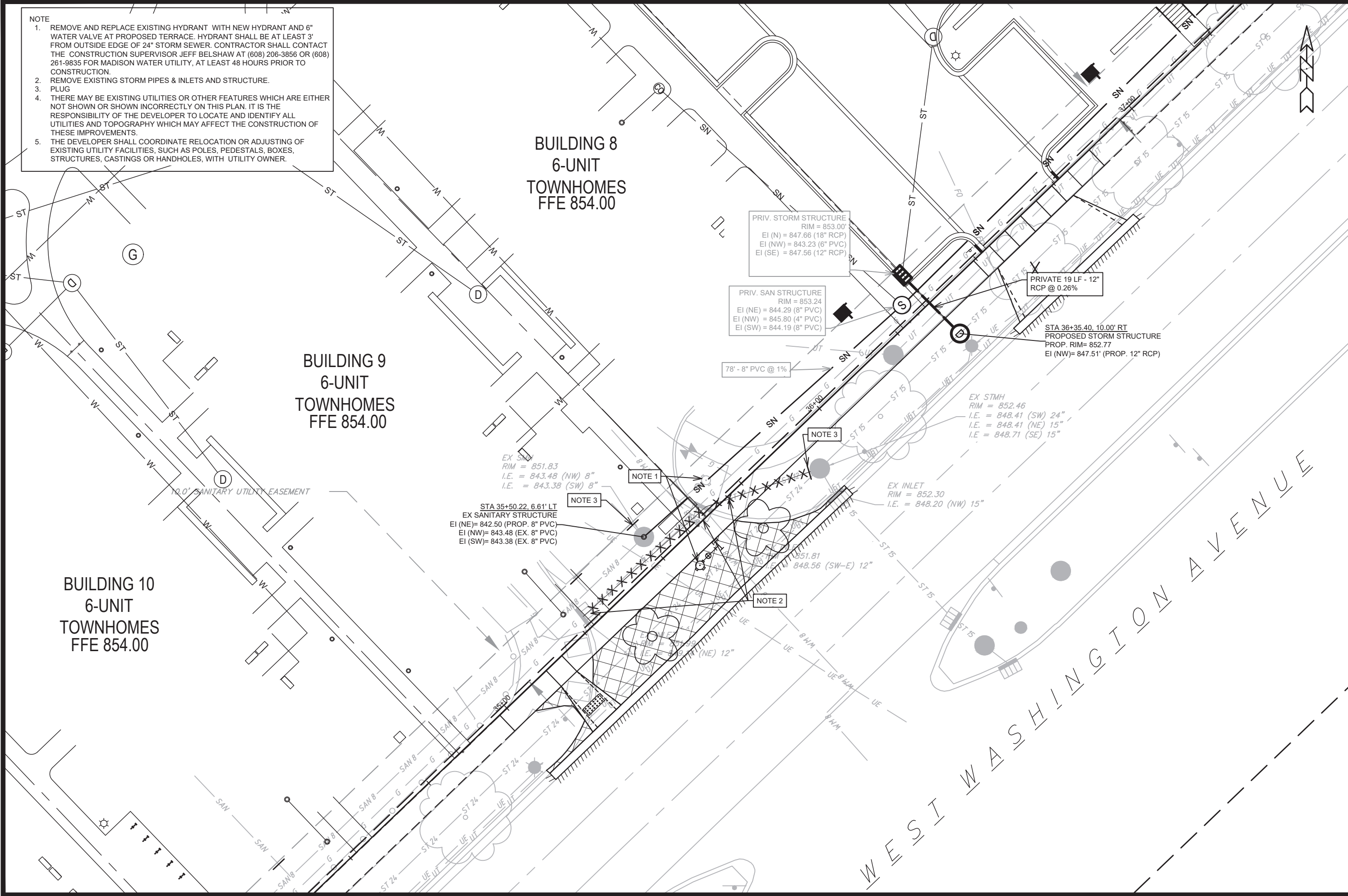
551.81
848.56 (SW-E) 12"

NOTE 1

NOTE 3

NOTE 2

NOTE 3



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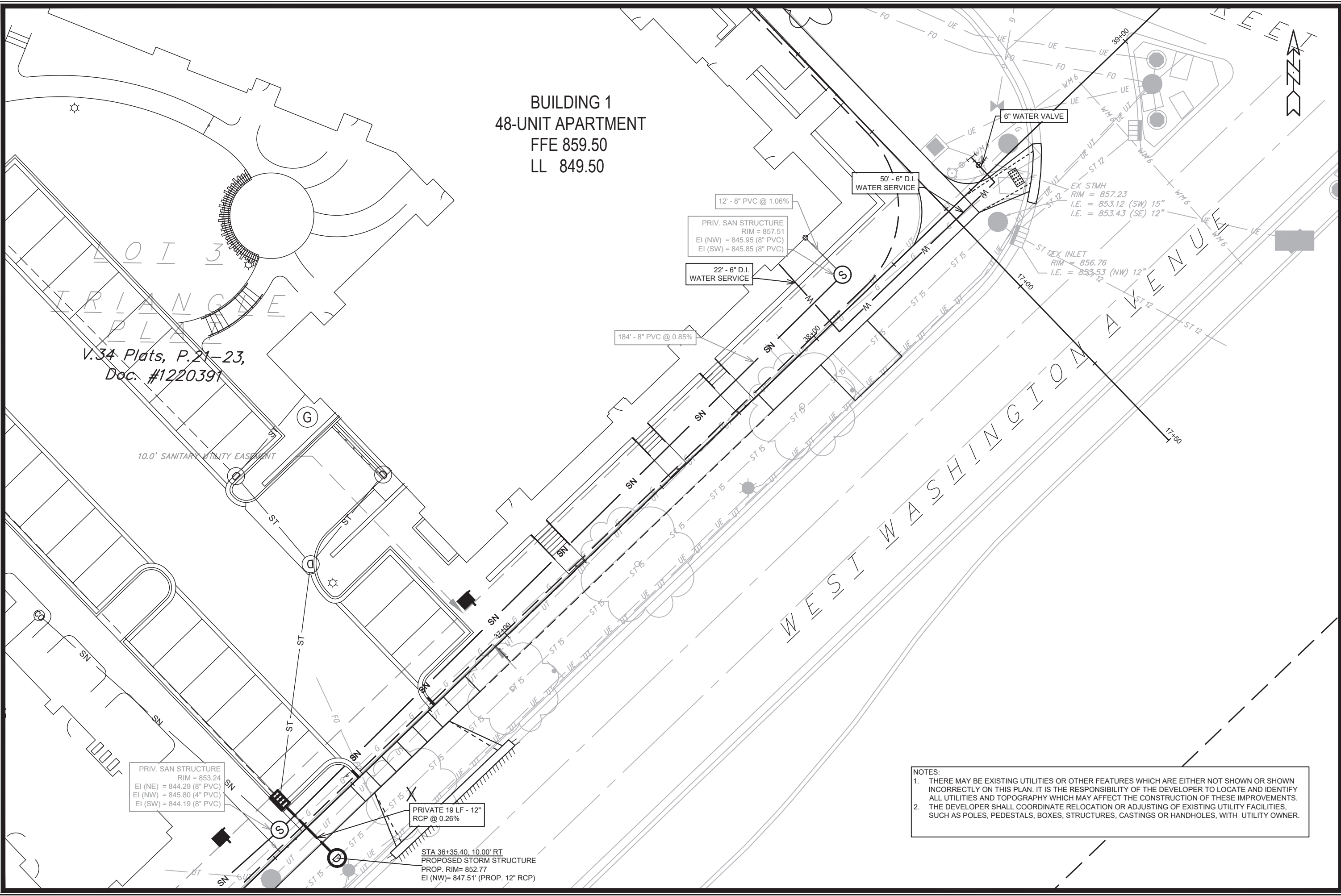
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MADISON, WI
8956
CONTRACT NO:

W WASHINGTON AVE - UTILITIES PLAN
BAYVIEW TOWNHOUSES - 601 BAY VIEW
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U-2



BUILDING 1
48-UNIT APARTMENT
FFE 859.50
LL 849.50

V.34 Plots, P.21-23,
 Doc. #1220391

10.0' SANITARY UTILITY EASEMENT

PRIV. SAN STRUCTURE
 RIM = 853.24
 EI (NE) = 844.29 (8" PVC)
 EI (NW) = 845.80 (4" PVC)
 EI (SW) = 844.19 (8" PVC)

PRIVATE 19 LF - 12"
 RCP @ 0.26%

STA 36+35.40, 10.00' RT
 PROPOSED STORM STRUCTURE
 PROP. RIM= 852.77
 EI (NW)= 847.51' (PROP. 12" RCP)

PRIV. SAN STRUCTURE
 RIM = 857.51
 EI (NW) = 845.95 (8" PVC)
 EI (SW) = 845.85 (8" PVC)

EX STMH
 RIM = 857.23
 I.E. = 853.12 (SW) 15"
 I.E. = 853.43 (SE) 12"

ST EX INLET
 RIM = 856.76
 I.E. = 853.53 (NW) 12"

NOTES:
 1. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
 2. THE DEVELOPER SHALL COORDINATE RELOCATION OR ADJUSTING OF EXISTING UTILITY FACILITIES, SUCH AS POLES, PEDESTALS, BOXES, STRUCTURES, CASTINGS OR HANDHOLES, WITH UTILITY OWNER.

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 MADISON, WI
 8956
 CONTRACT NO:

W WASHINGTON AVE - UTILITIES PLAN
 BAYVIEW TOWNHOUSES - 601 BAY VIEW
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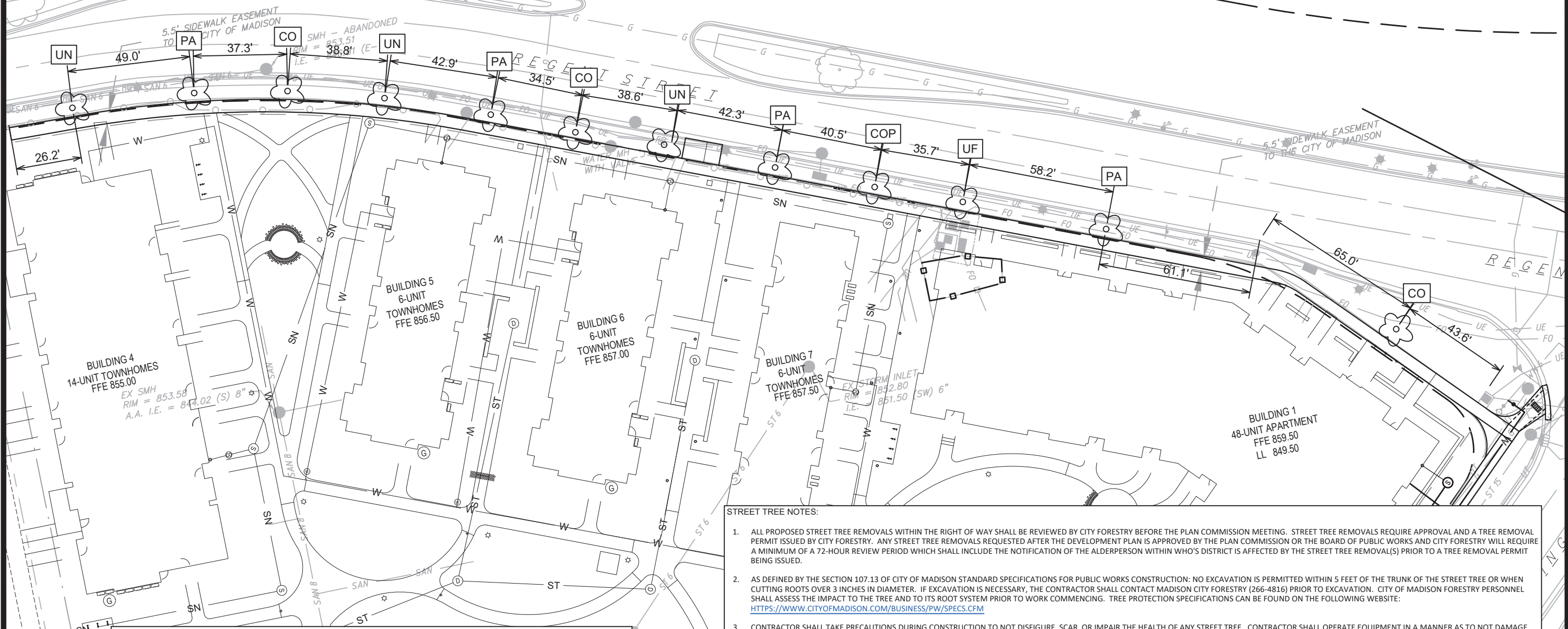


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LOI 2
CSM NO. 614Z
VOL. 29, PAGE 246-248.

LOI 2
CSM NO. 614Z
VOL. 29, PAGE 246-248.

REGENT STREET



PLANT LIST (13250 - 601 BAY VIEW)

| Quantity | Code | Common Name | Scientific Name | Size |
|----------|------|------------------------------|---------------------------------------|-------------|
| 5 | PA | Exclamation London Planetree | Platanus x acerifolia 'Morton Circle' | 2" Cal. B&B |
| 3 | UN | New Horizon Elm | Ulmus 'New Horizon' | 2" Cal. B&B |
| 3 | CO | Chicagoland Hackberry | Celtis occidentalis 'Chicagoland' | 2" Cal. B&B |
| 1 | COP | Prairie Sentinel Hackberry | Celtis occidentalis 'JFS-KSU1' | 2" Cal. B&B |
| 1 | UF | Frontier Elm | Ulmus 'Frontier' | 2" Cal. B&B |
| 1 | GS | Skyline Honeylocust | Gleditsia Triacanthos 'Skycole" | 2" Cal. B&B |

STREET TREE NOTES:

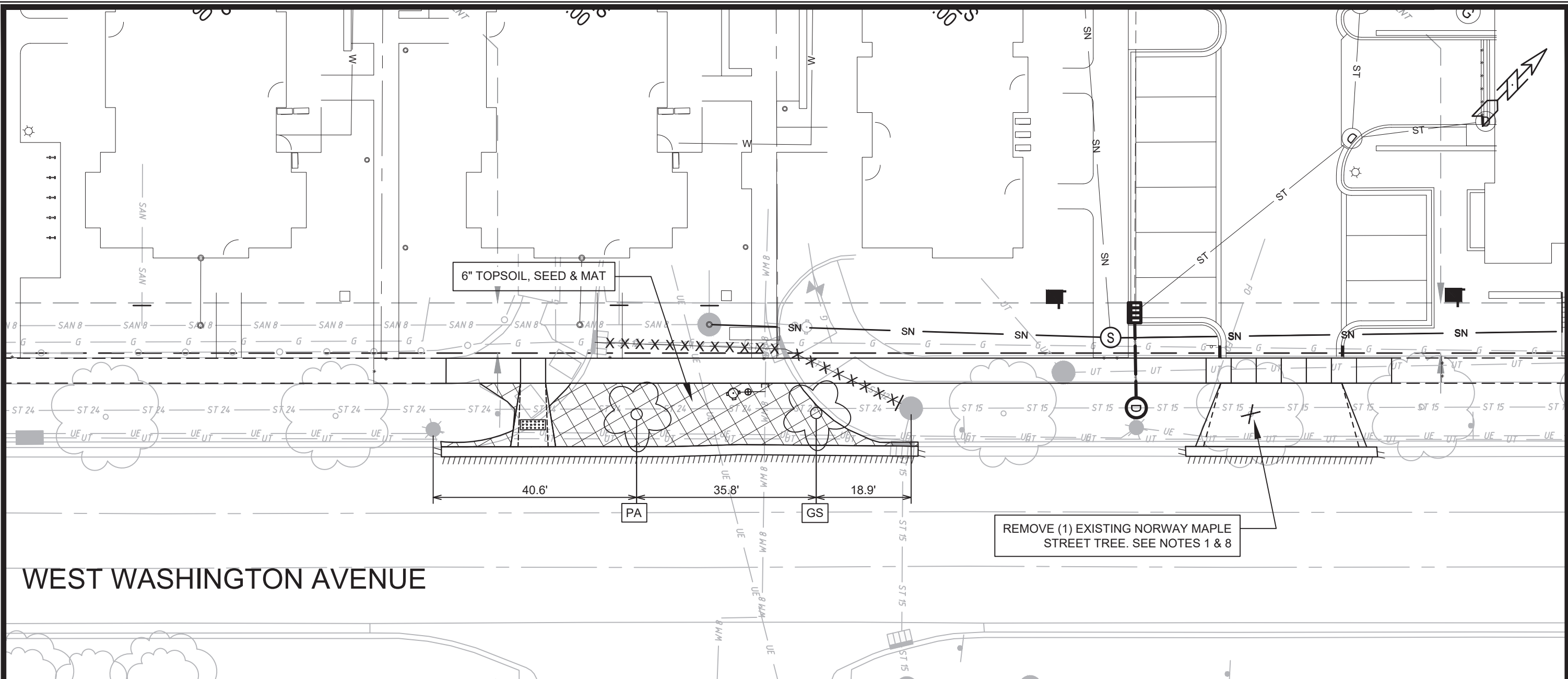
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING.
- CONTRACTOR SHALL CONTACT CITY FORESTRY (608) 266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR 5 TREES (11" MAPLE ON W WASHINGTON FOR DRIVEWAY INSTALLATION & 4 TREES 9", 10", & 14" MAPLE & 2" HACKBERRY FOR NEW STREET INSTALLATION).

13250
MADISON, WI
8956
CONTRACT NO:
REGENT STREET - LANDSCAPE PLAN
BAYVIEW TOWNHOUSES - 601 BAY VIEW
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WEST WASHINGTON AVENUE

W E S

PLANT LIST (13250 - 601 BAY VIEW)

| Quantity | Code | Common Name | Scientific Name | Size |
|----------|------|------------------------------|---------------------------------------|-------------|
| 5 | PA | Exclamation London Planetree | Platanus x acerifolia 'Morton Circle' | 2" Cal. B&B |
| 3 | UN | New Horizon Elm | Ulmus 'New Horizon' | 2" Cal. B&B |
| 3 | CO | Chicagoland Hackberry | Celtis occidentalis 'Chicagoland' | 2" Cal. B&B |
| 1 | COP | Prairie Sentinel Hackberry | Celtis occidentalis 'JFS-KSU1' | 2" Cal. B&B |
| 1 | UF | Frontier Elm | Ulmus 'Frontier' | 2" Cal. B&B |
| 1 | GS | Skyline Honeylocust | Gleditsia Triacanthos 'Skycole' | 2" Cal. B&B |

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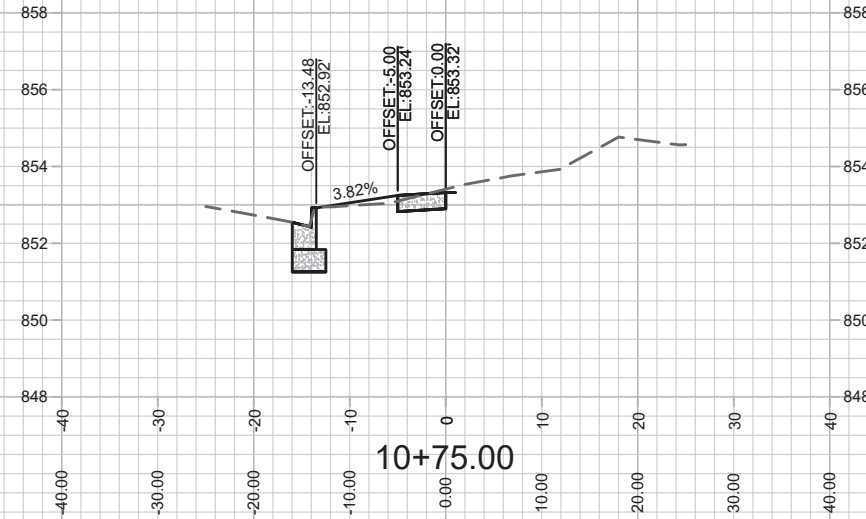
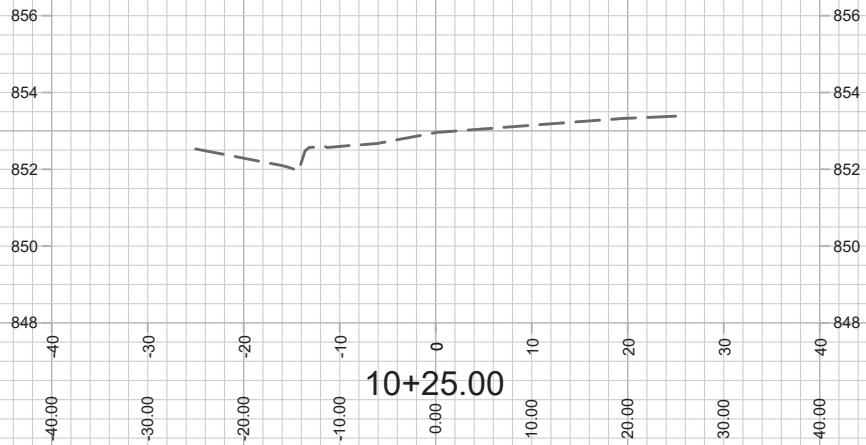
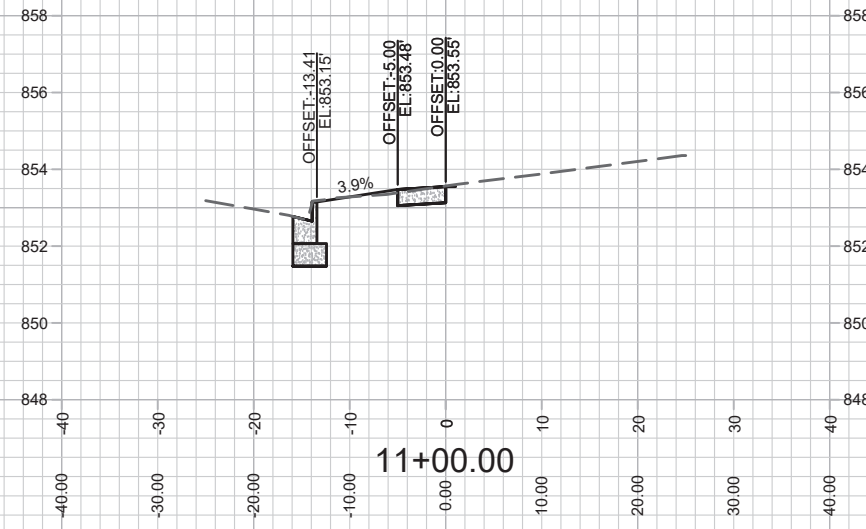
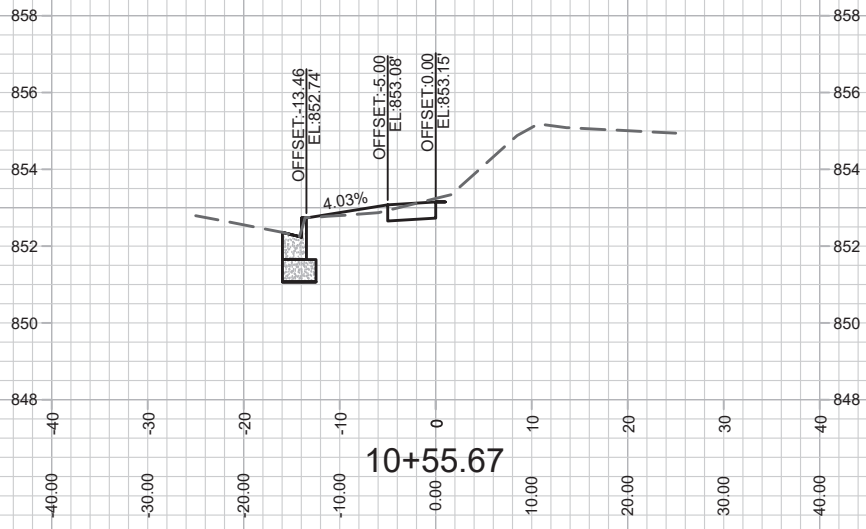
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8956
CONTRACT NO:

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BAYVIEW TOWNHOUSES - 601 BAY VIEW
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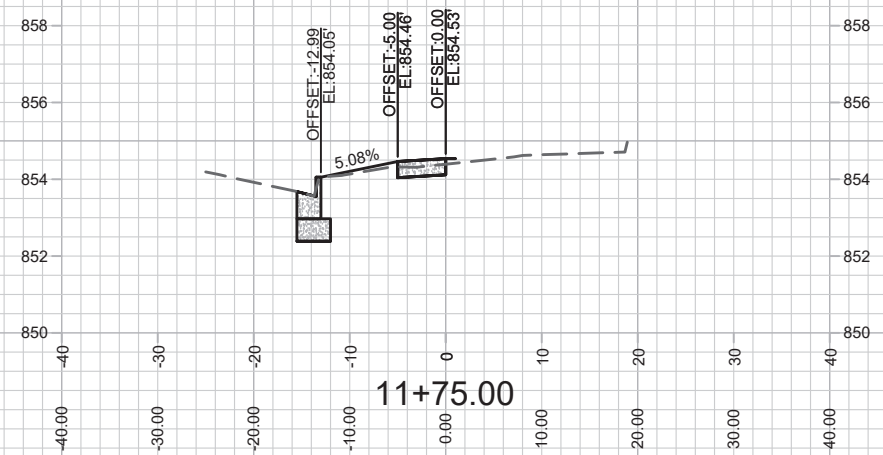
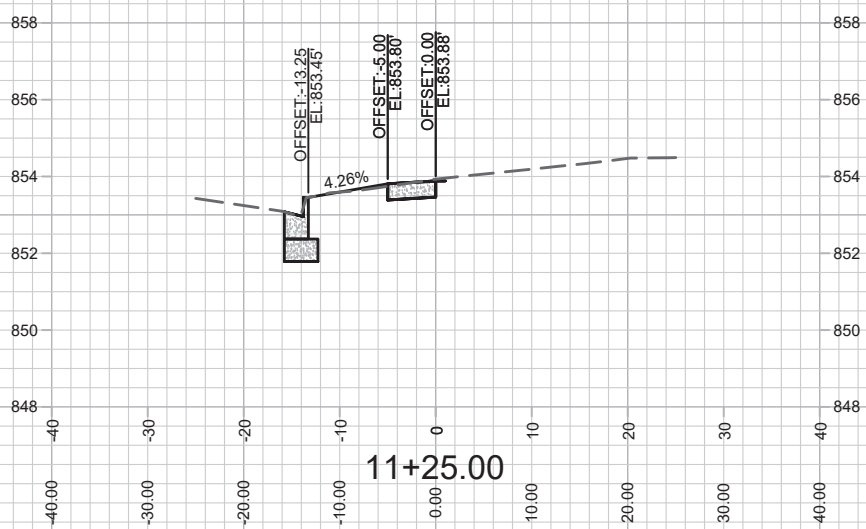
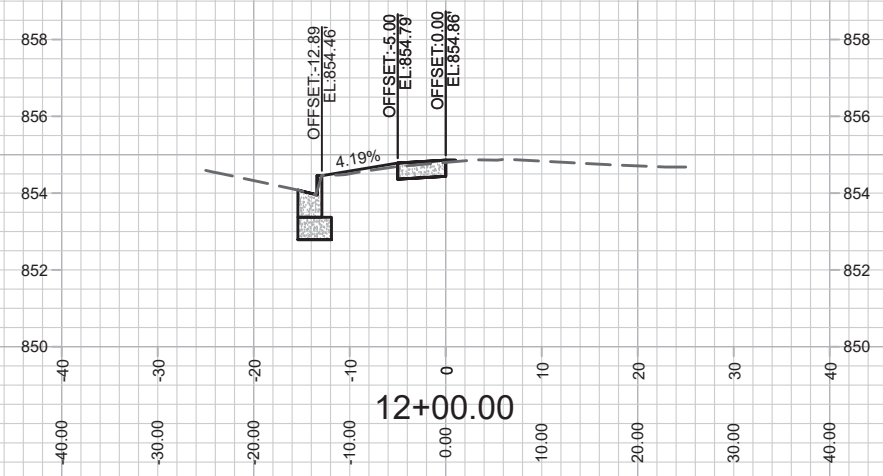
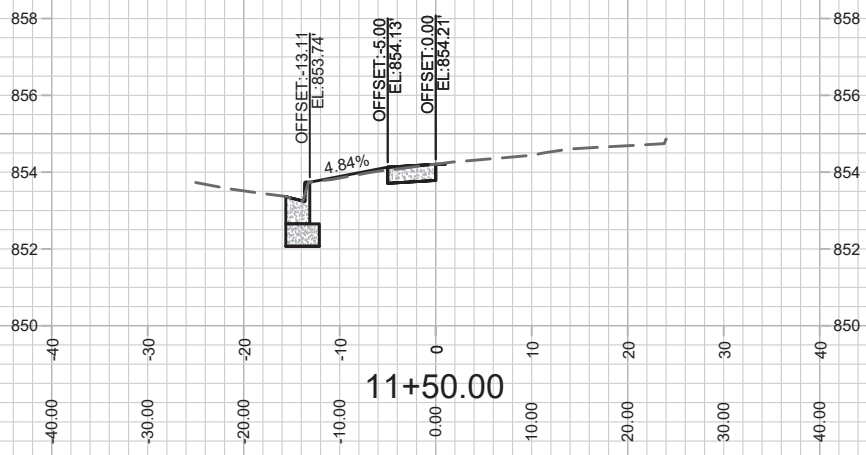
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CONTRACT NO:

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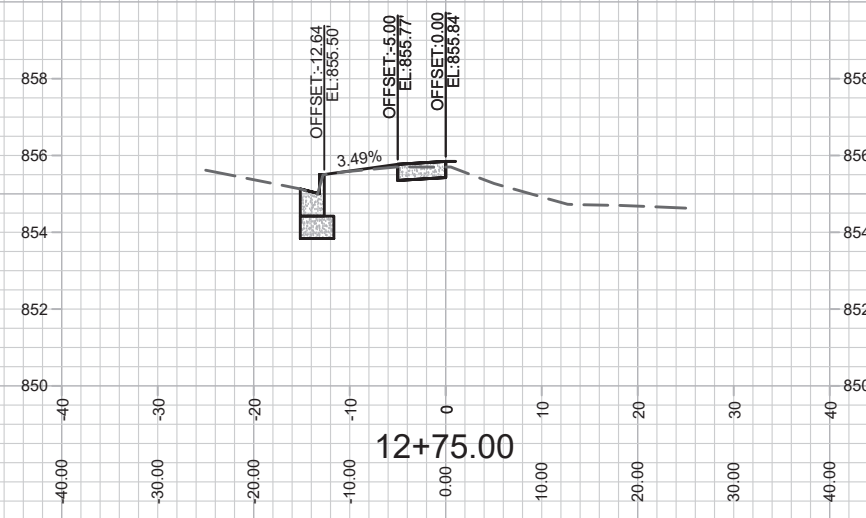
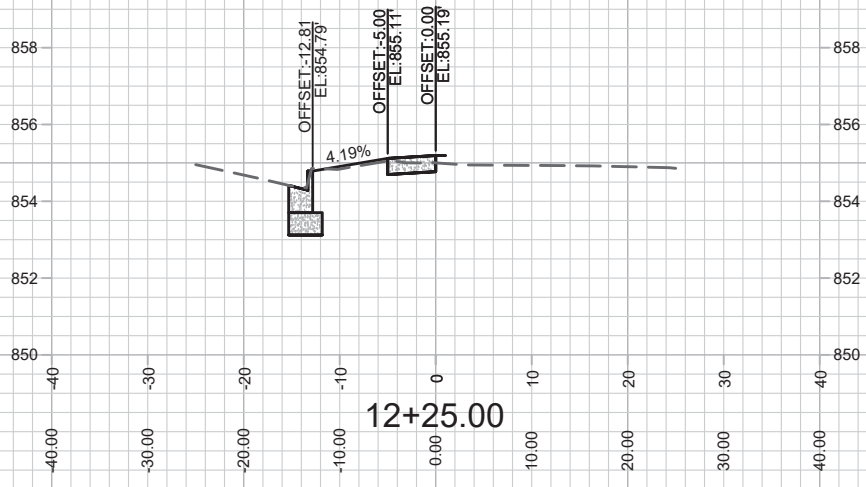
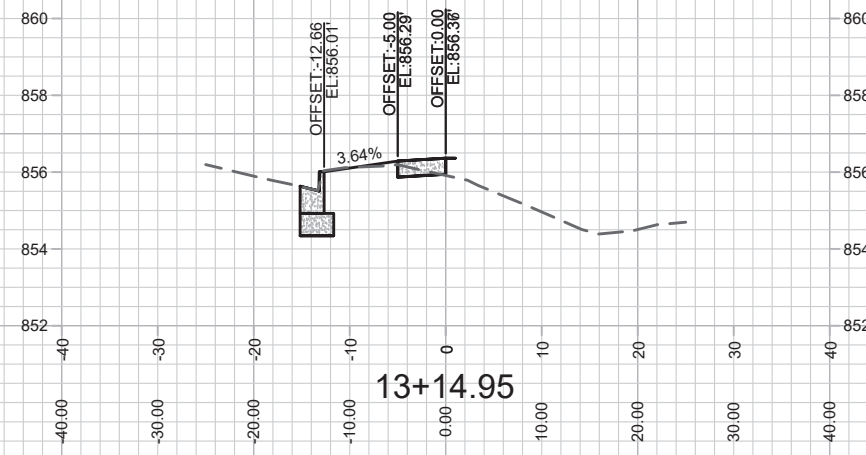
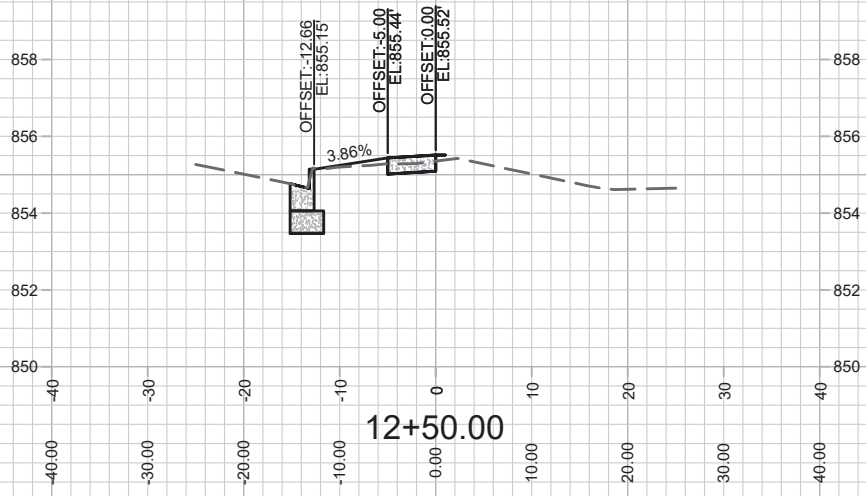
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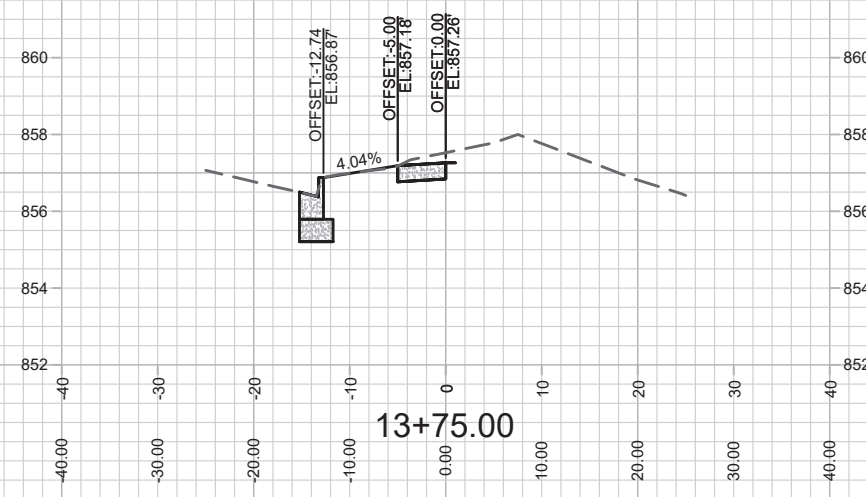
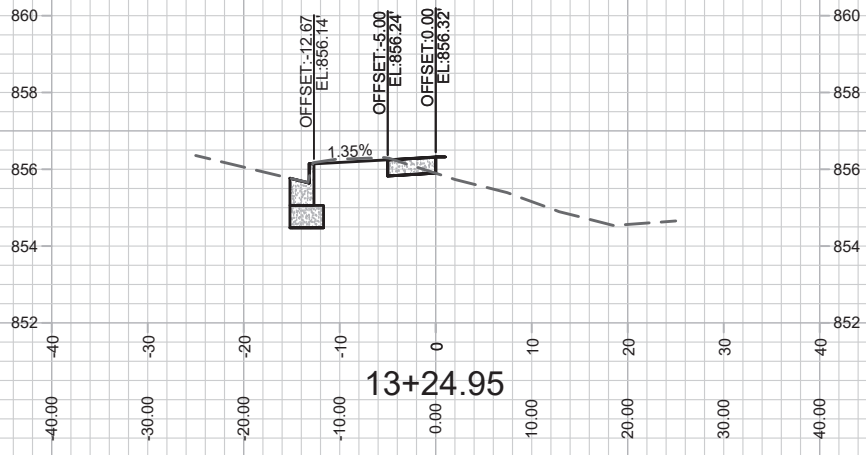
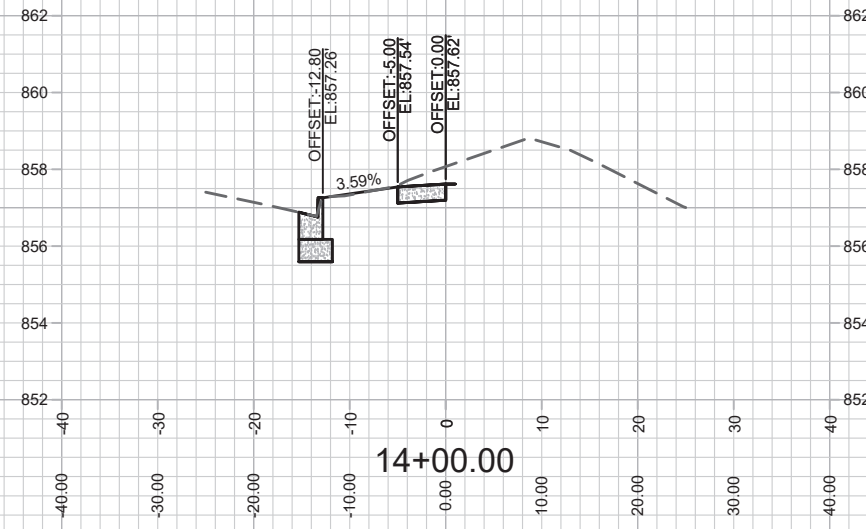
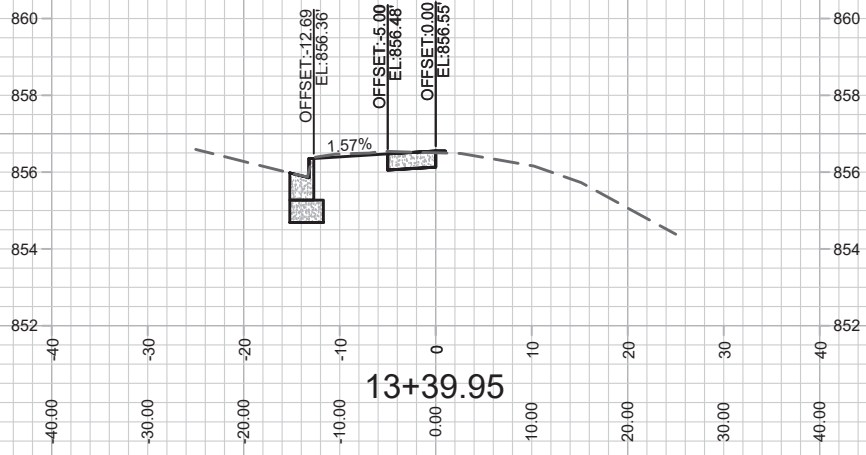


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REGENT ST- SIDEWALK CROSS SECTION
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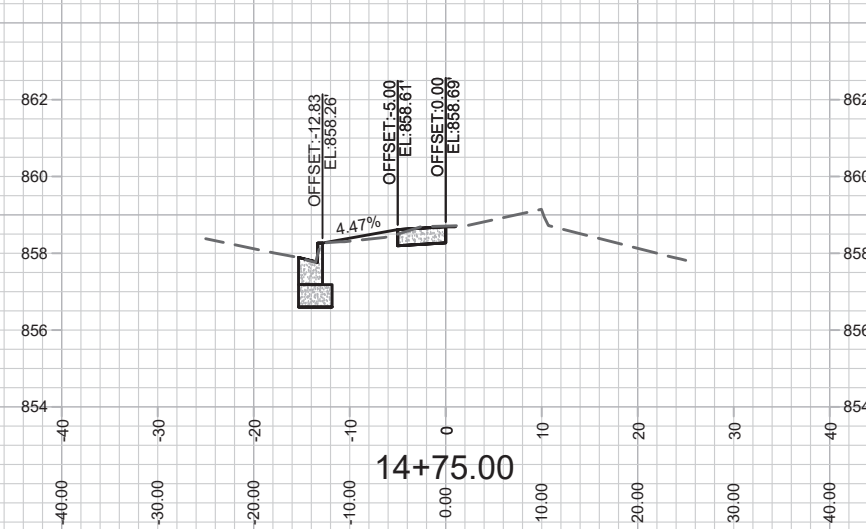
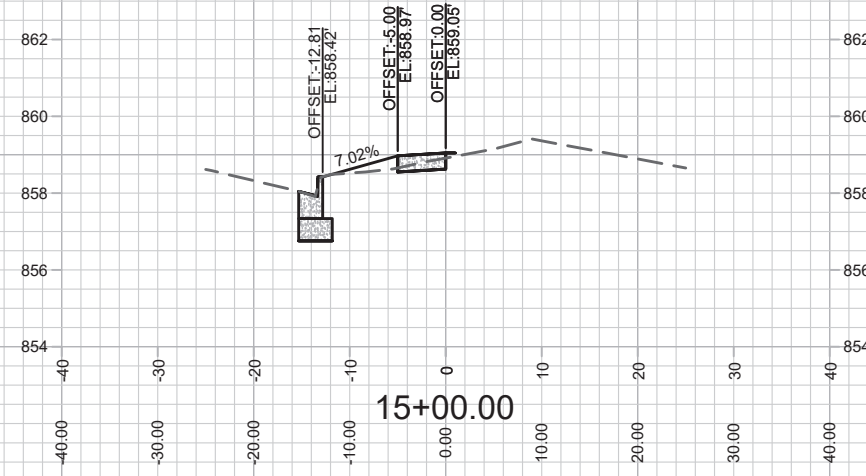
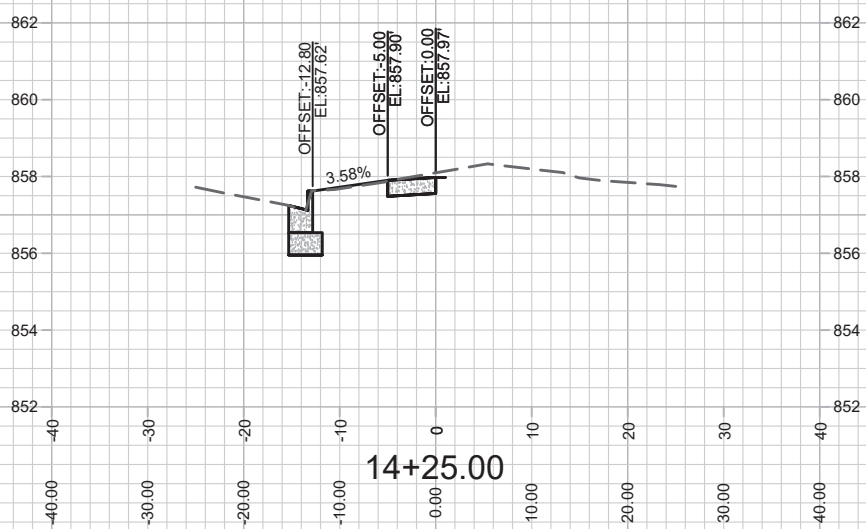
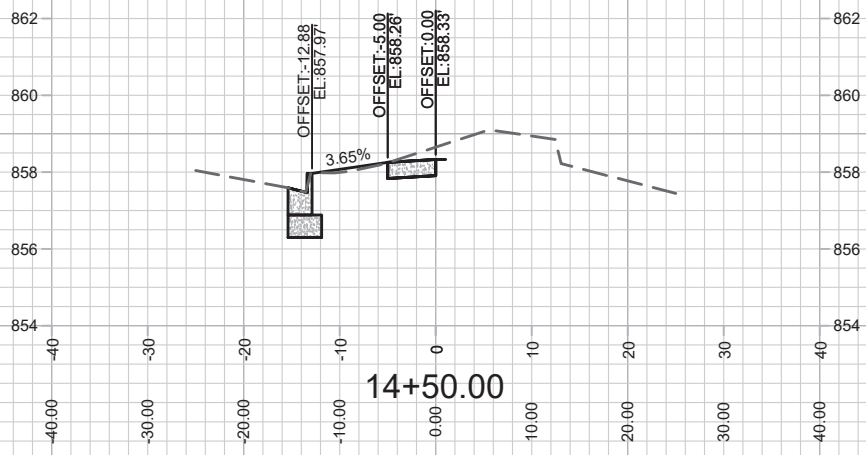
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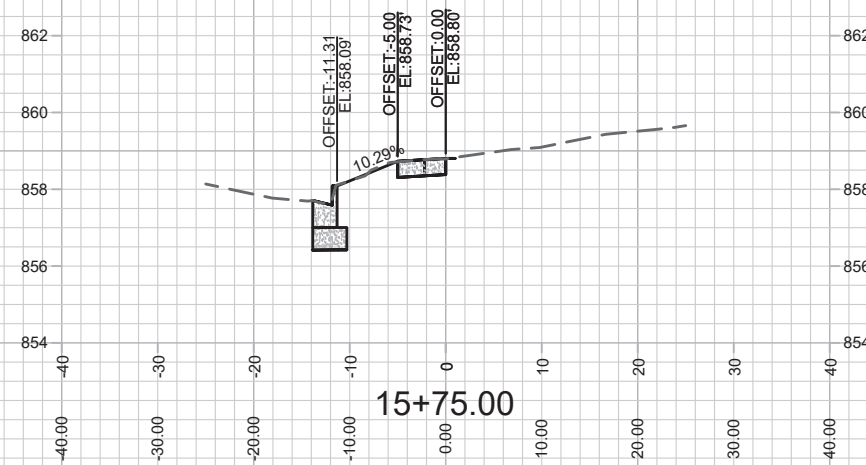
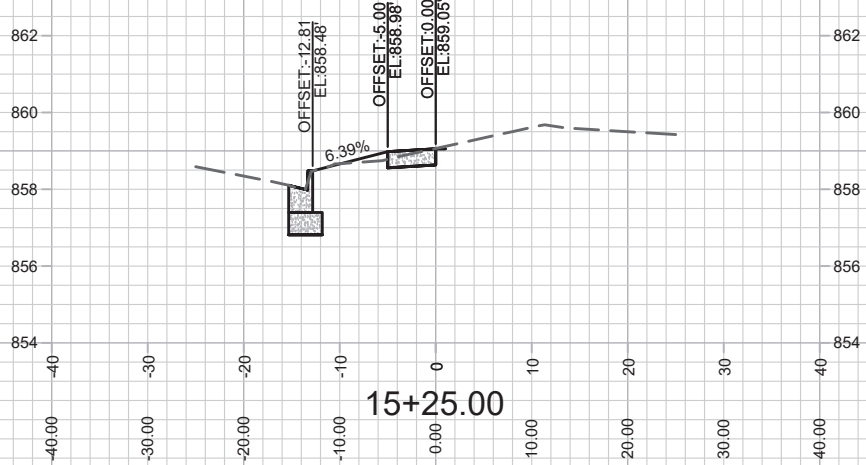
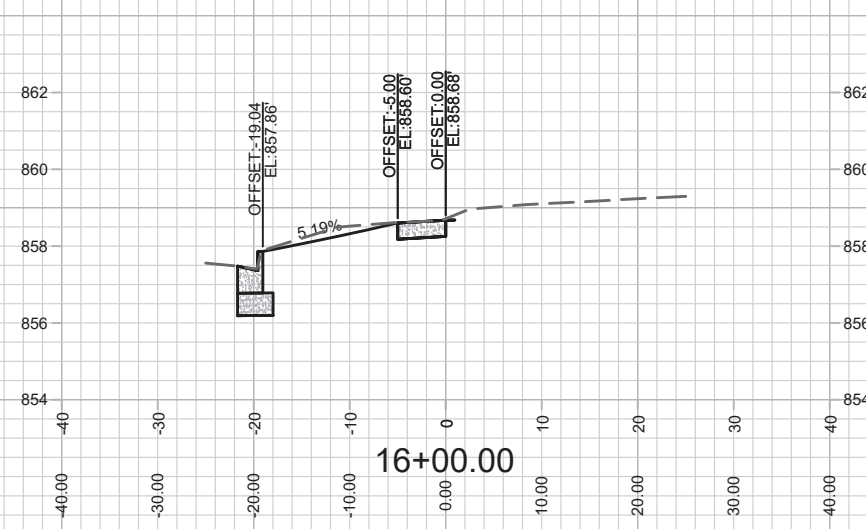
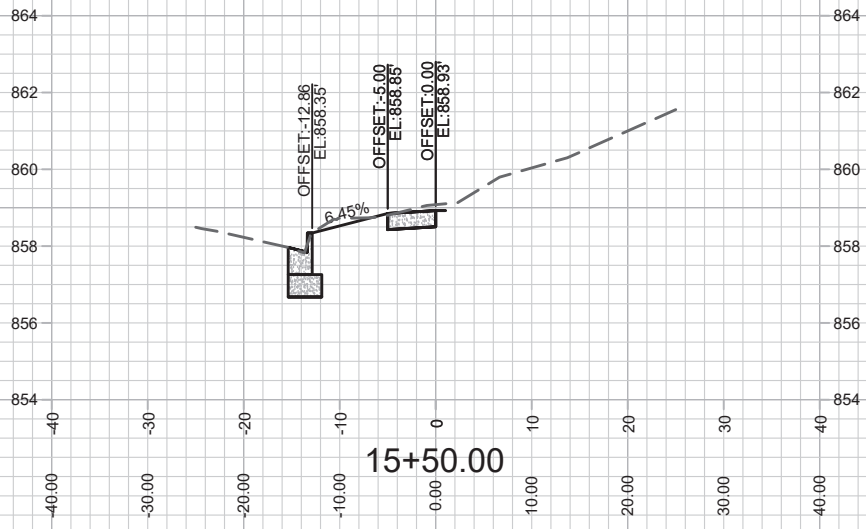
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 MADISON, WI
 8956
 CONTRACT NO:

REGENT ST- SIDEWALK CROSS SECTION
 BAYVIEW TOWNHOUSES - 601 BAY VIEW
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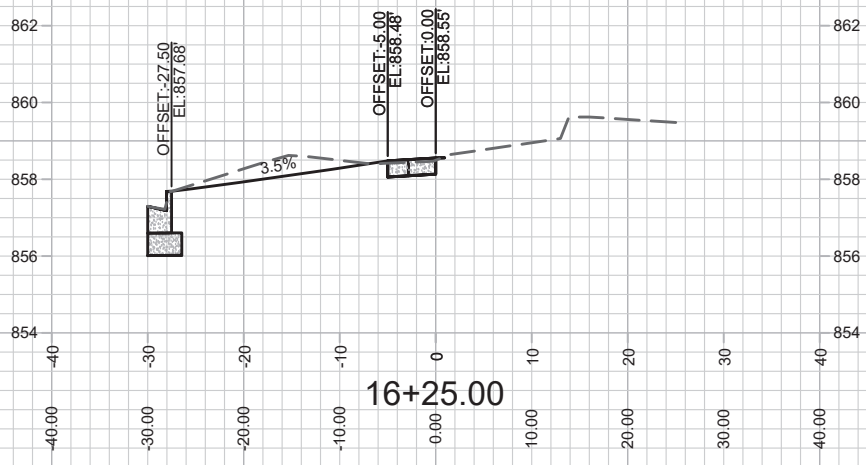
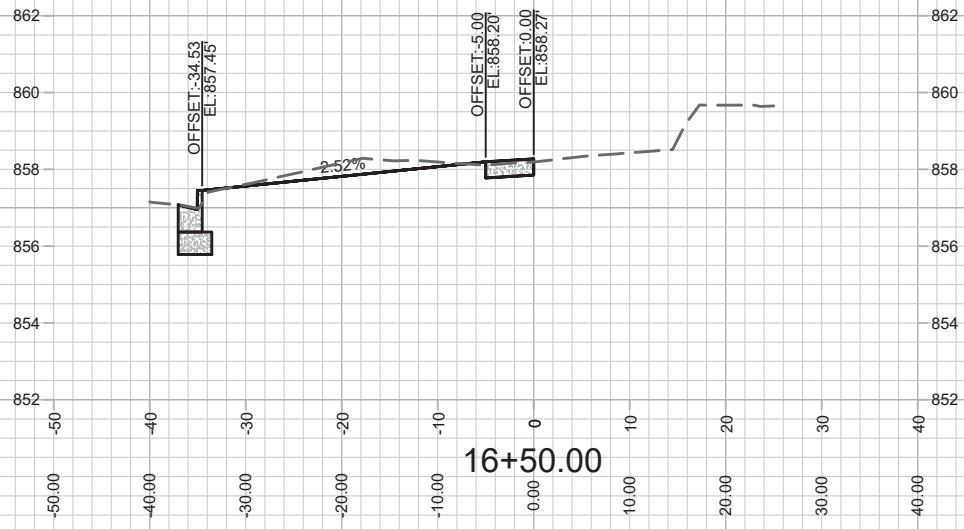
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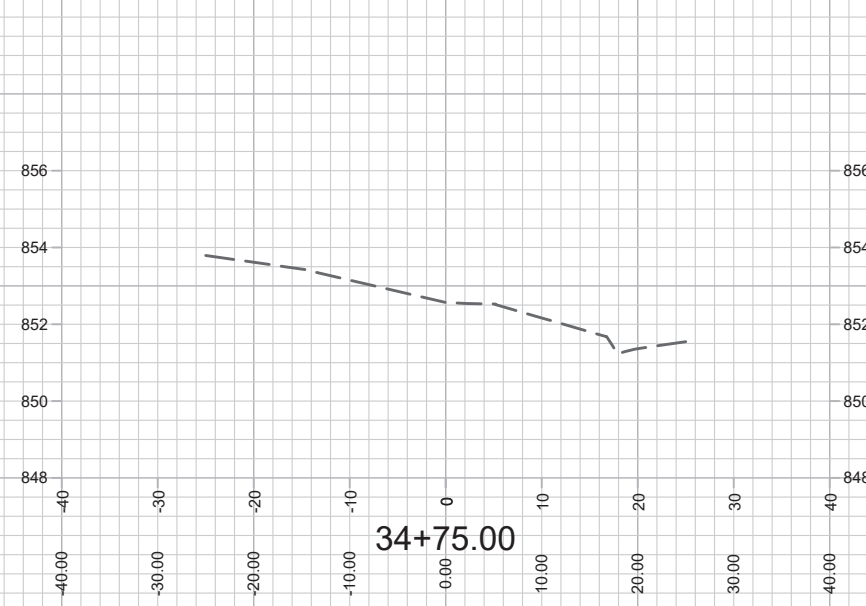
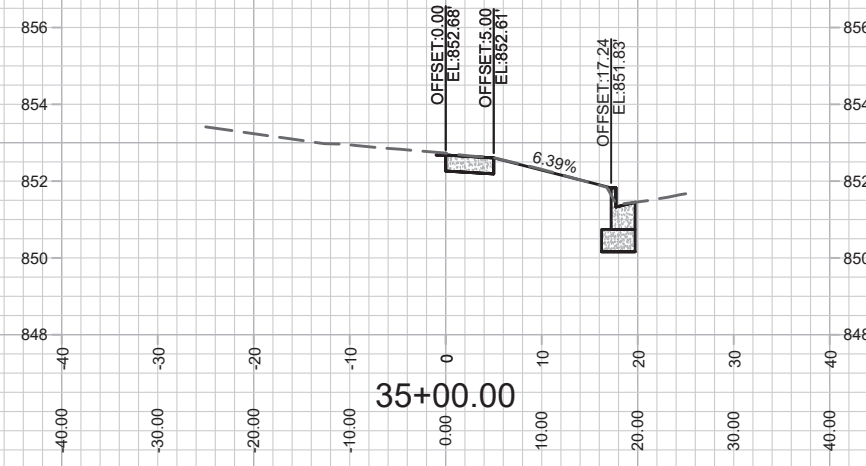
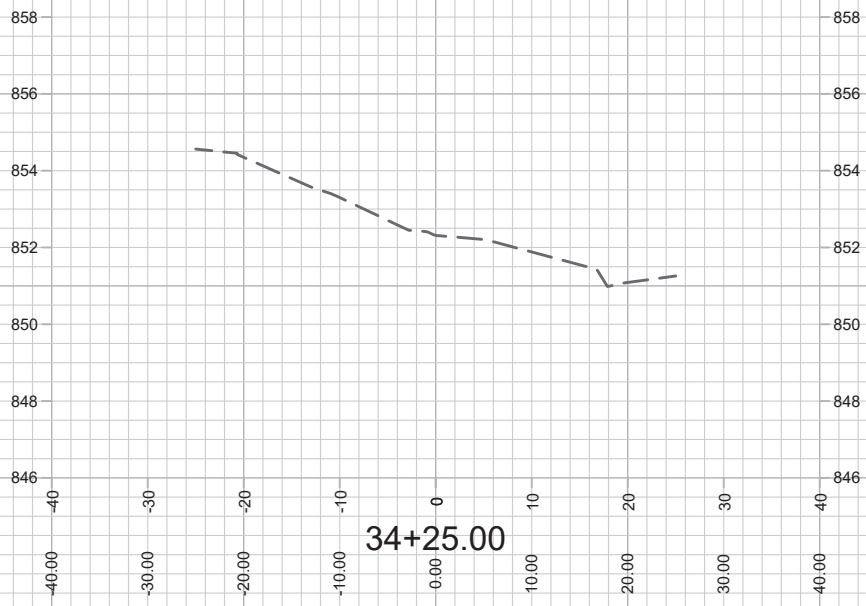
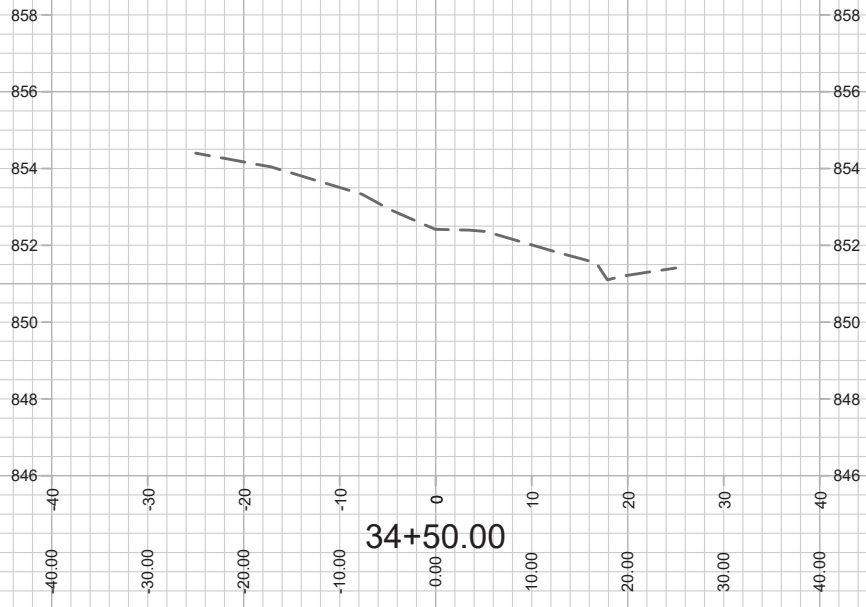


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REGENT ST- SIDEWALK CROSS SECTION
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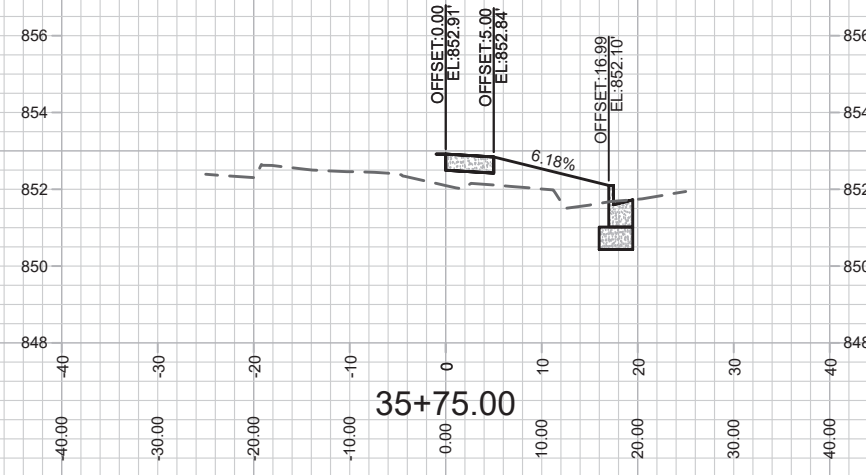
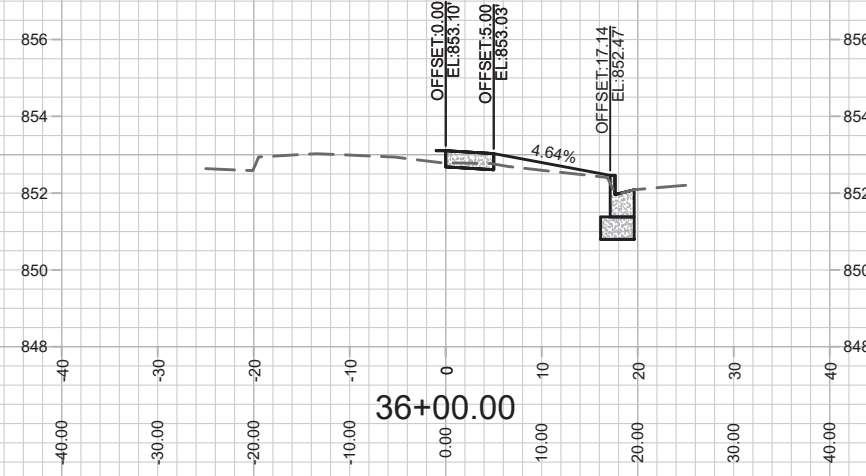
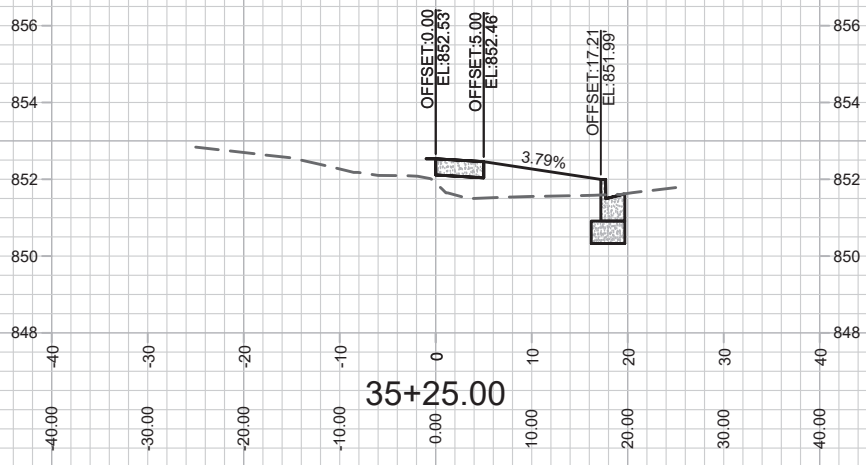
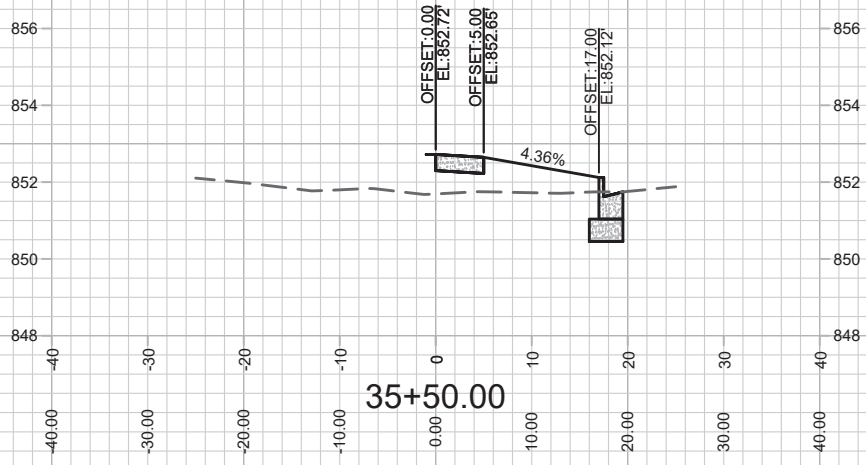
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CONTRACT NO:

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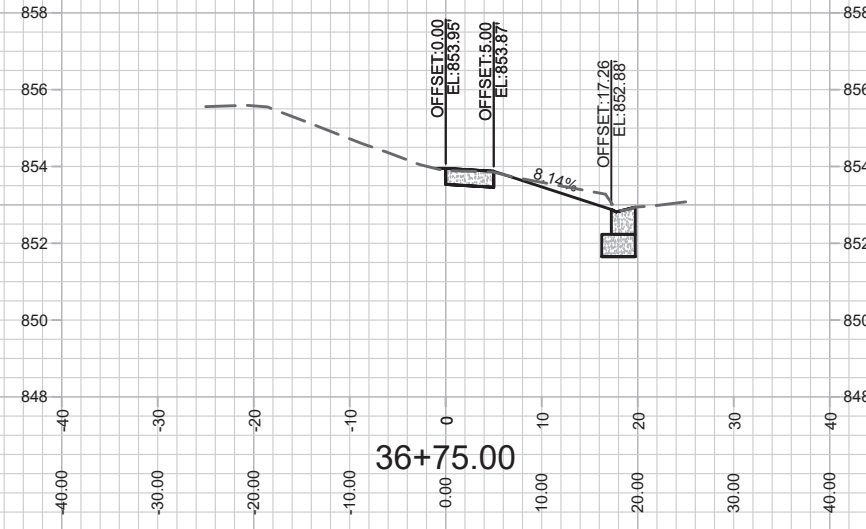
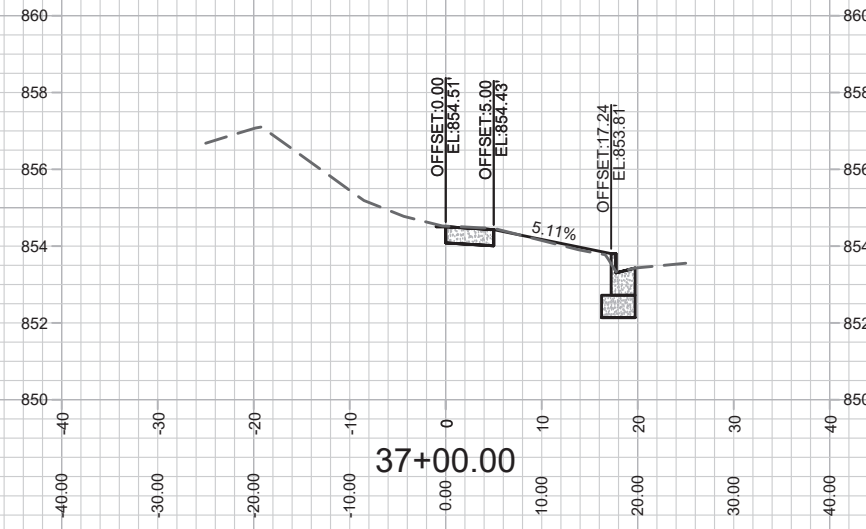
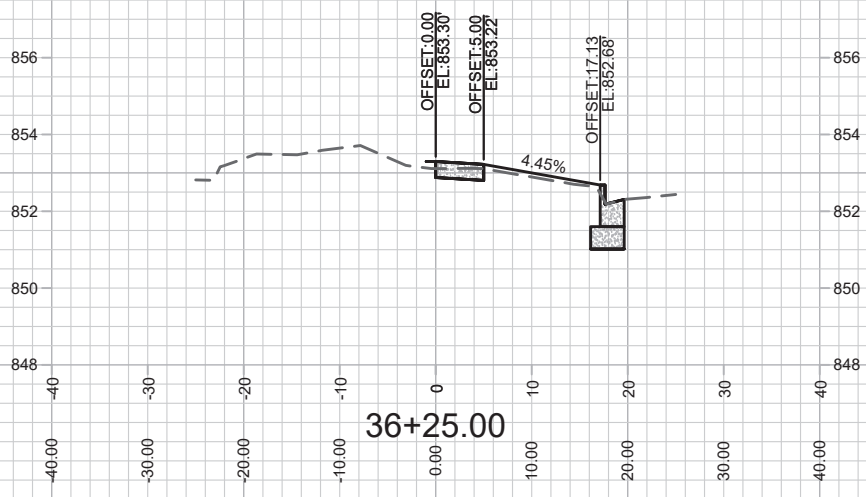
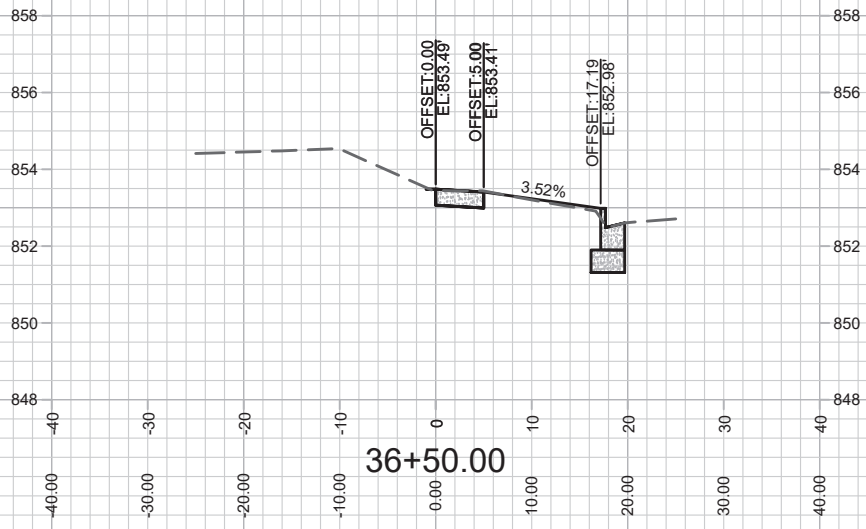
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BAYVIEW TOWNHOUSES - 601 BAY VIEW

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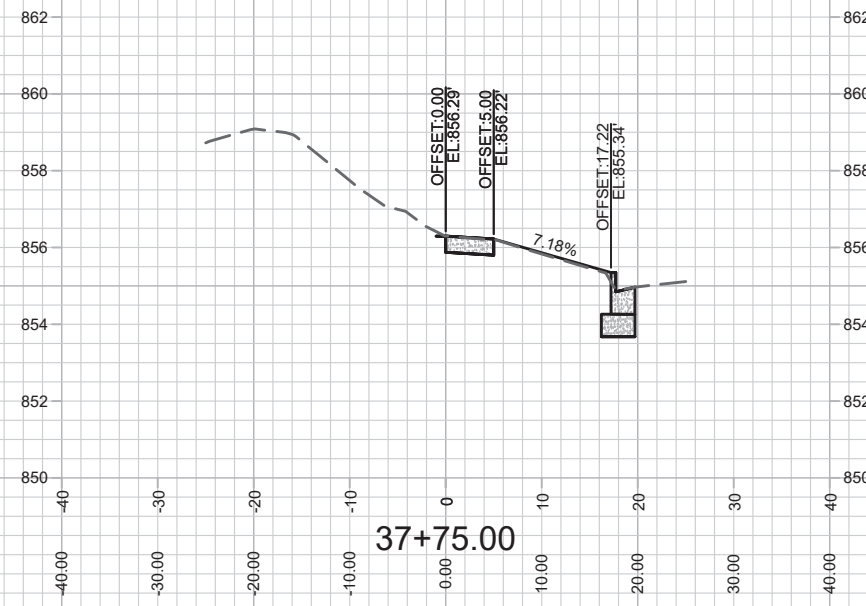
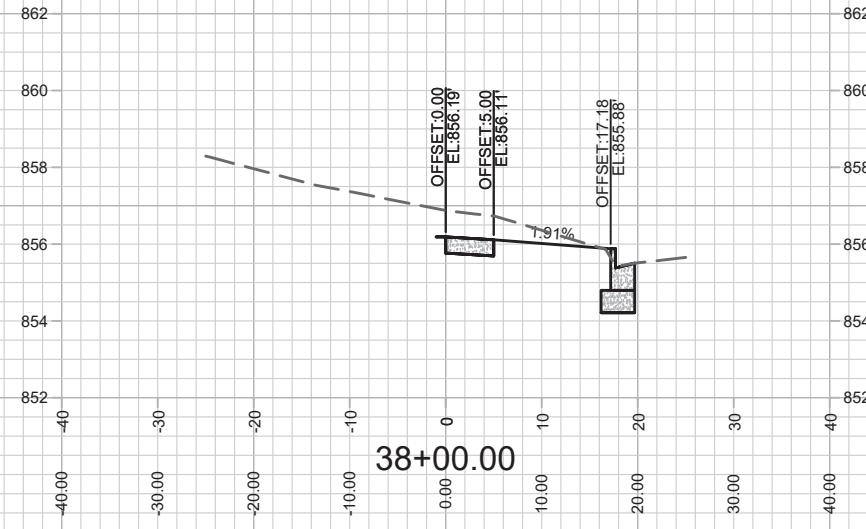
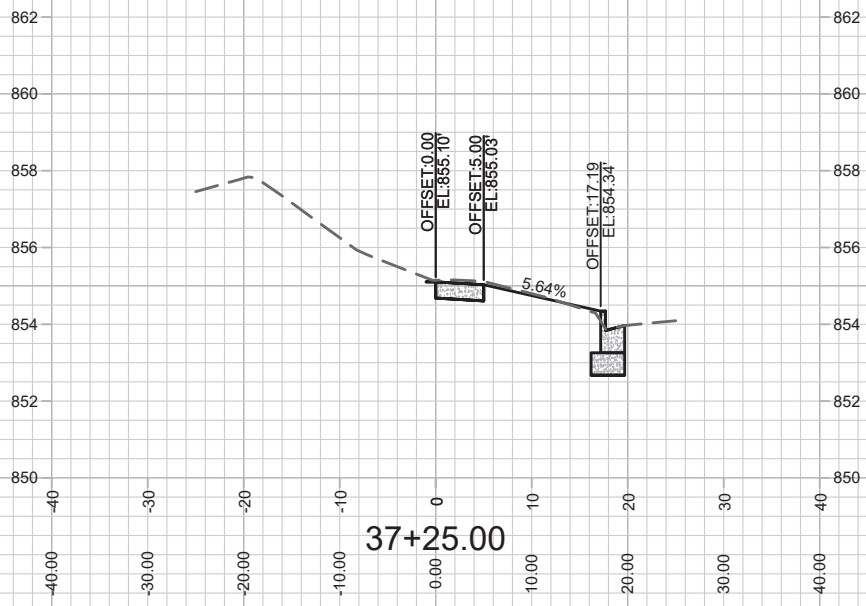
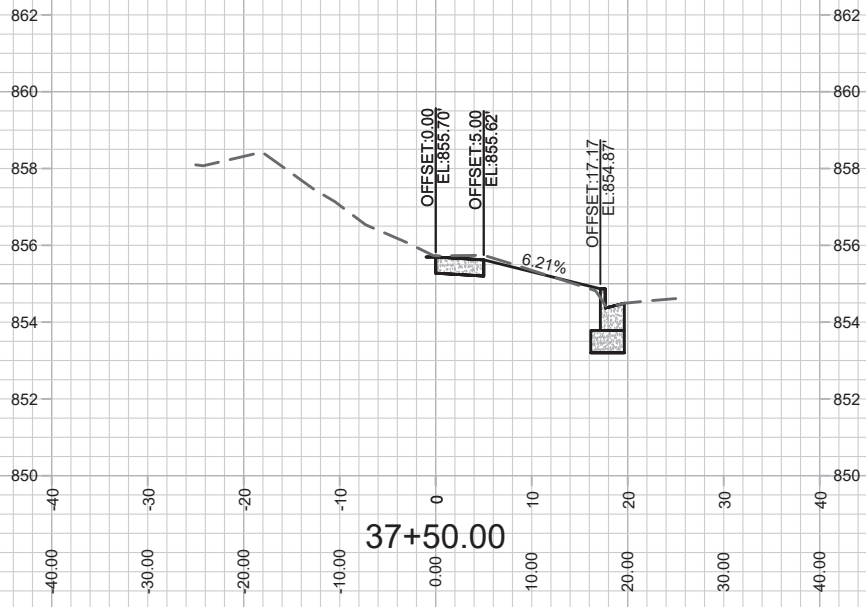
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CONTRACT NO:

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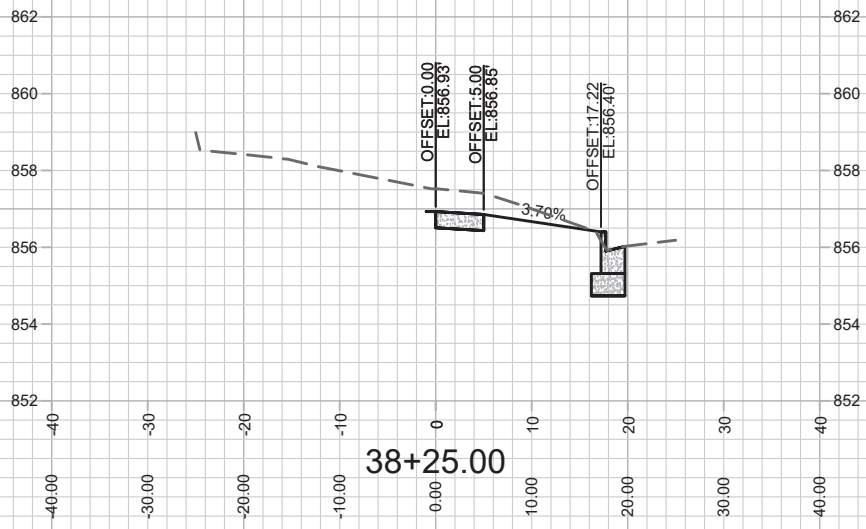
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