

Madison, Wisconsin

# CITY OF MADISON

## CITY ENGINEERING DIVISION

### DEPARTMENT OF PUBLIC WORKS

# PLAN OF PROPOSED IMPROVEMENT

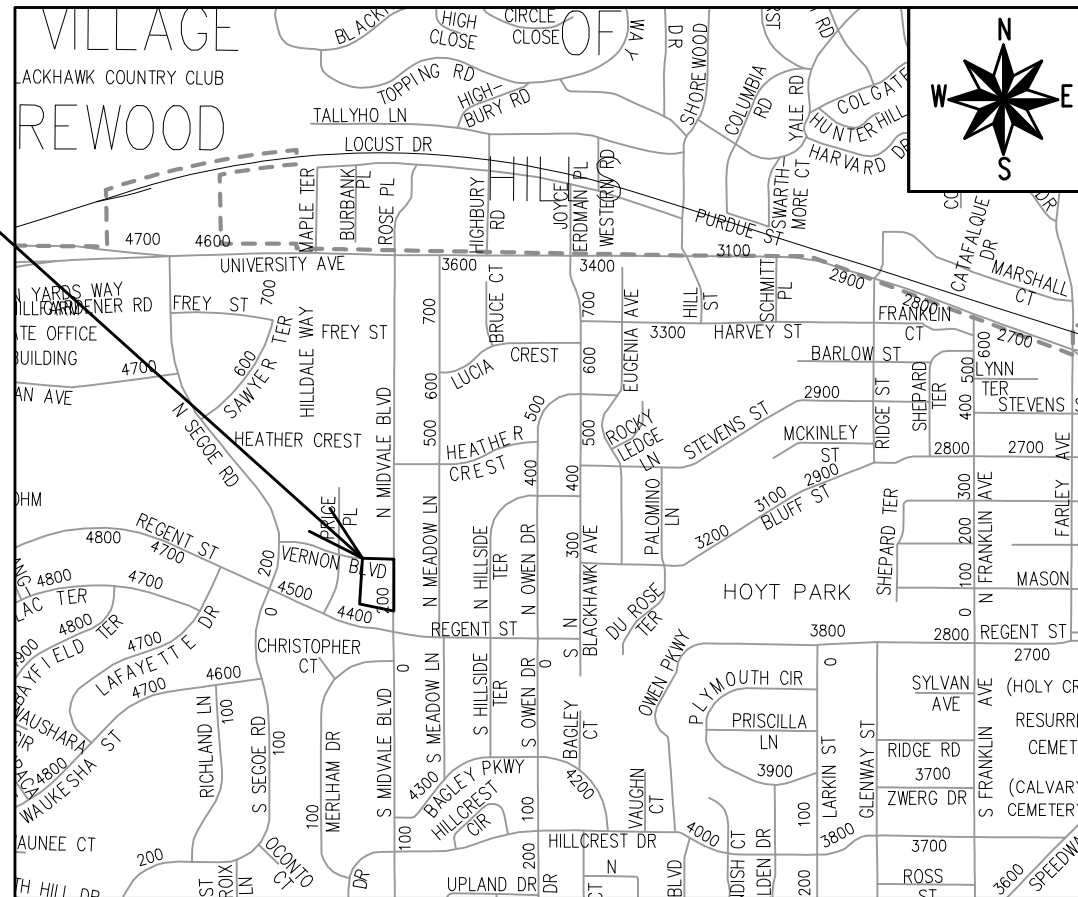
**INDEX OF SHEETS**

SHEET NO. D1	GENERAL NOTES
SHEET NO. D2	TYPICAL SECTION
SHEET NO. P1-P3	STREET PLAN & PROFILES
SHEET NO. U1	UTILITY PLAN
NO MAINTENANCE PLAN	

226 N MIDVALE BOULEVARD

CITY PROJECT NO. 14032  
CONTRACT NO. 9145

PROJECT  
LOCATION



PUBLIC IMPROVEMENT PROJECT APPROVED

MARCH 01, 2022

BY THE COMMON COUNCIL OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN APPROVED BY:

*Greg Fries* Jun 30, 2022

City Engineer Date

STREET DESIGNED BY:



Jun 30, 2022

SANITARY SEWER DESIGNED BY:

LATERAL ONLY

STORM SEWER DESIGN BY:

LATERAL ONLY

WATER DESIGNED BY:

LATERAL ONLY

PLOT SCALE: 1:1\_XREF

PLOT NAME: ---

REV. DATE: 6/28/2022 10:26 AM




ORIGINATOR: CITY\_OF\_MADISON

ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)

DEVELOPER MUST SUBMIT A TRAFFIC CONTROL PLAN TO CITY TRAFFIC ENGINEERING AT LEAST 14 DAYS PRIOR TO THE START OF WORK. WORK SHALL NOT PROCEED UNTIL AN APPROVED TRAFFIC CONTROL PLAN IS IN PLACE.

CONTACT PROJECT ENGINEER AND STREET DESIGNER DAYENU SIMON AT [DSIMON@CITYOFMADISON.COM](mailto:DSIMON@CITYOFMADISON.COM) FOR CAD AND ALIGNMENT DATA PRIOR TO STAKING.

CONVENTIONAL SIGNS	
FIELD VERIFY ALL UTILITY LOCATIONS	
GAS	—— G ——
STORM SEWER	—— ST ——
SANITARY SEWER	—— SN ——
WATER	—— W ——
BURIED ELECTRIC	—— E ——
OVERHEAD ELECTRIC	—— OH ——
POWER POLE	
ADA COMPLIANT RAMP W/ DETECTABLE WARNING FIELD	
COMBUSTIBLE FLUIDS	

UNDERDRAINS SHALL BE INSTALLED PER STANDARD DETAIL DRAWING 4.05 FOR 75' ON EACH SIDE OF THE LOW POINT, OR TO THE NEAREST CURB HIGH POINT. ALL UNDERDRAIN SHALL BE WRAPPED.

ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADE OF 0.5% TOWARD STORM SEWER INLETS.

ALL DITCHES SHALL DRAIN WITH A MINIMUM GRADE OF 0.5%

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL TYPICALLY BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.04. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.

CURB STATION AND OFFSETS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PAVEMENT SAWCUTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS SHOWN ON THE PLAN ARE APPROXIMATE.

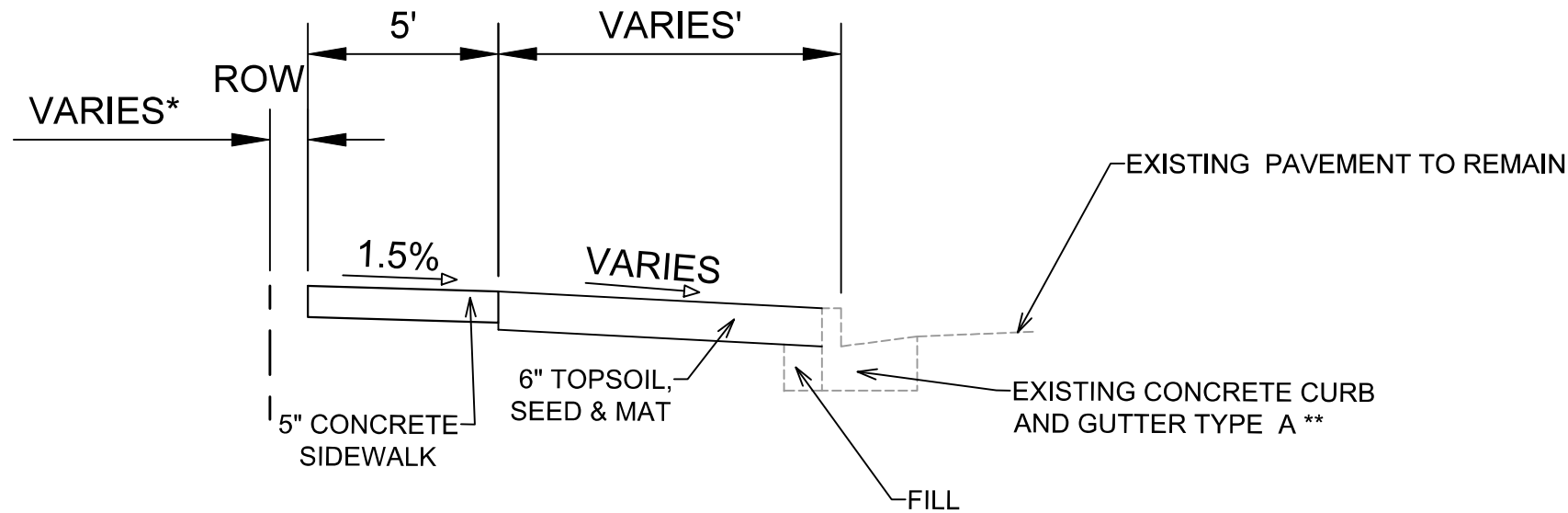
ALL WORK IN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

MARK	REVISION	DATE	BY
14032		6/7/2022 2:03 PM	
Designed By: D.S	Scale: #####		D-1

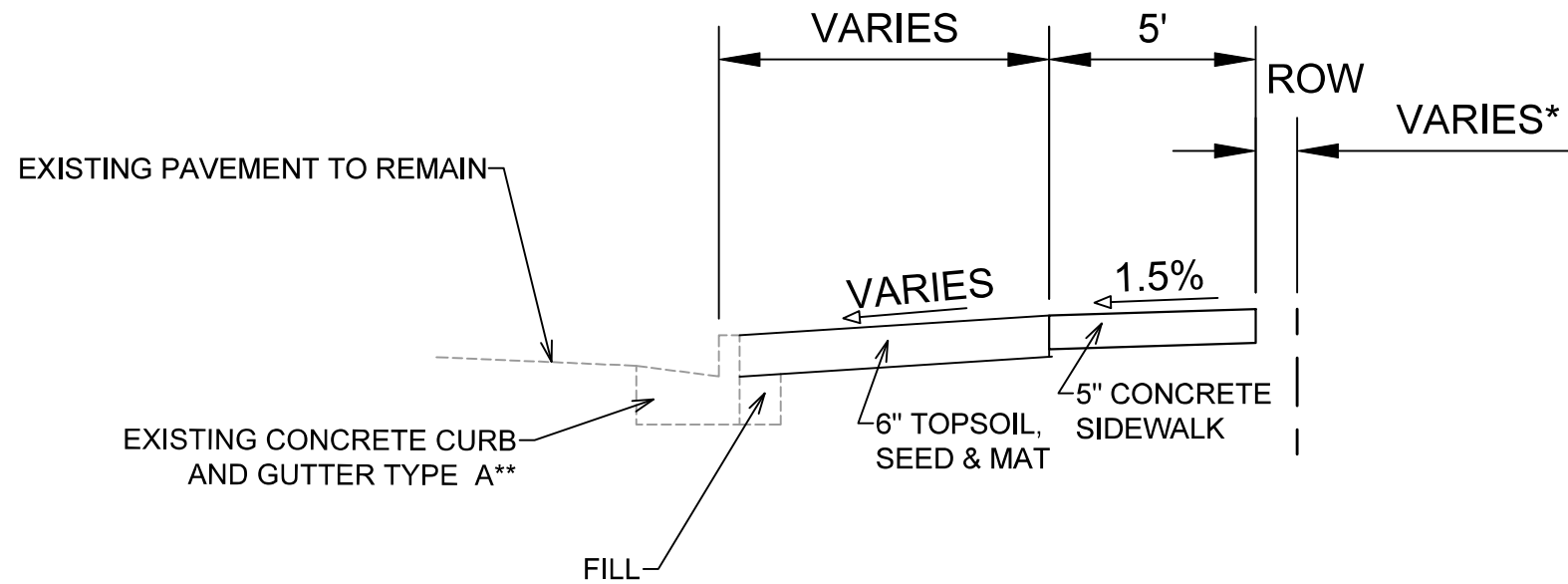
14032  
MADISON, WI  
9145  
CONTRACT NO:

GENERAL NOTES  
226 N MIDVALE BOULEVARD  
M:\DESIGN\Projects\14032\CAD\Streets\14032EN-Details.dwg





**TYPICAL SECTION**  
 MIDVALE BOULEVARD  
 NOT TO SCALE



**TYPICAL SECTION**  
 VERNON BOULEVARD  
 NOT TO SCALE

\*\* REMOVE AND REPLACE AS SHOWN ON THE P-SHEET OR AS DIRECTED BY THE ENGINEER

MARK	REVISION	DATE	BY
14032		6/7/2022 2:03 PM	
Designed By: D.S			
Scale: #####			

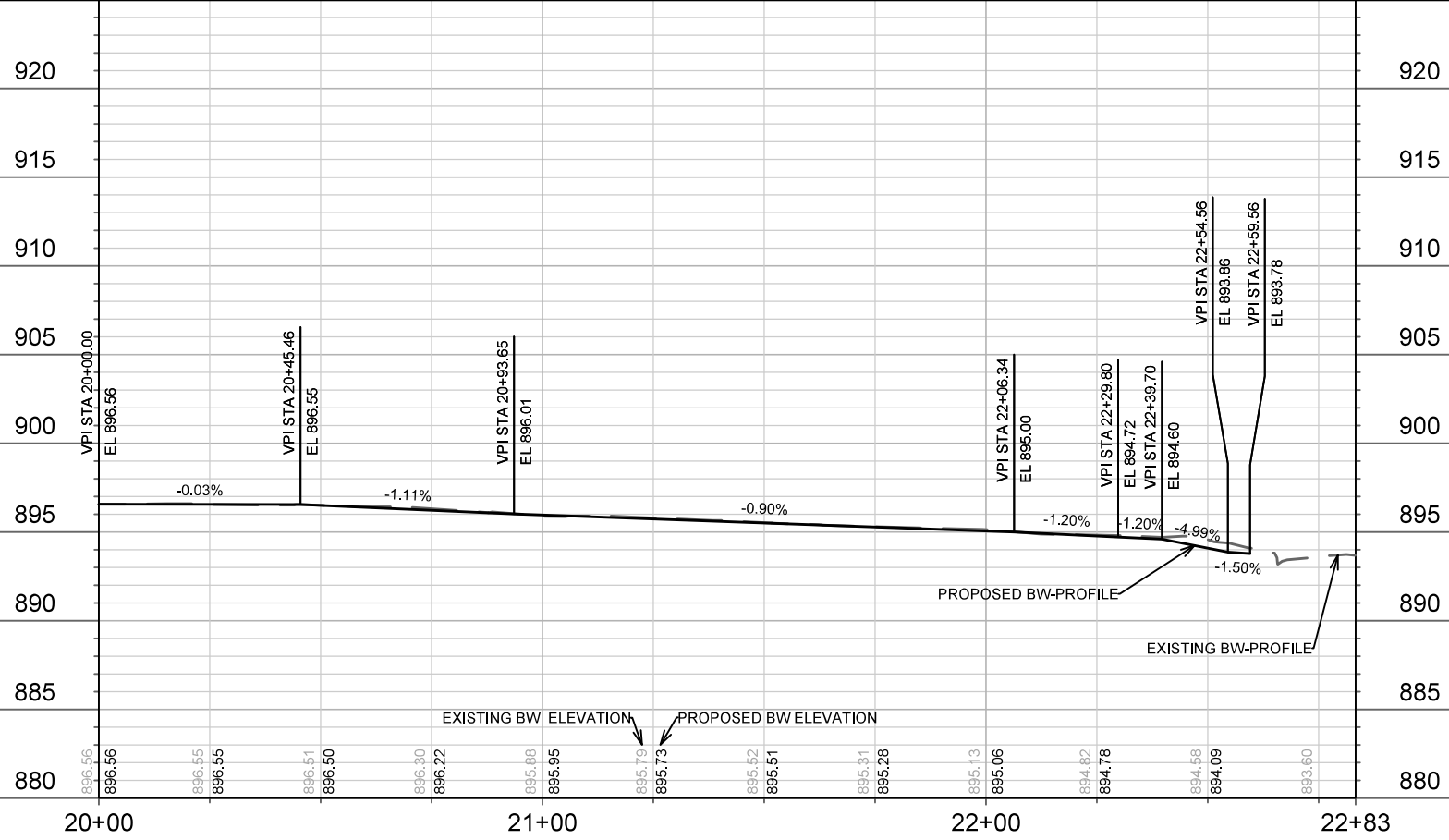
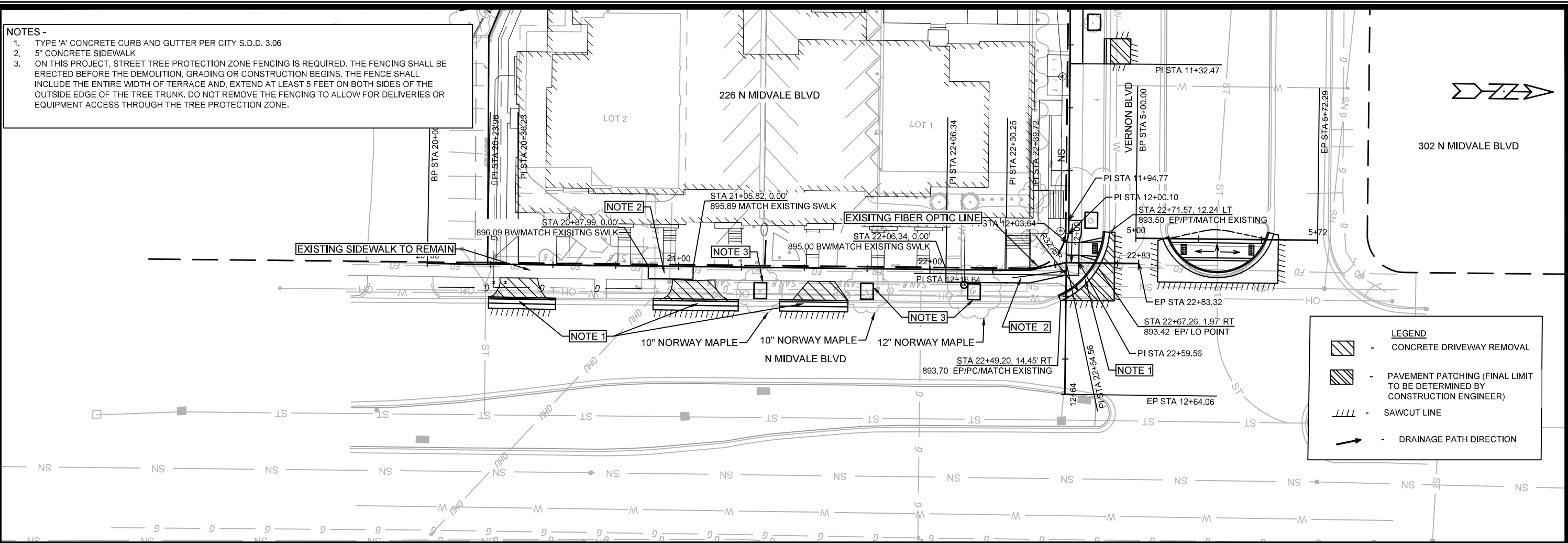
14032  
 MADISON, WI  
 9145  
 CONTRACT NO:

TYPICAL SECTION  
 226 N MIDVALE BOULEVARD  
 M:\DESIGN\Projects\14032\CAD\Streets\14032EN-Details.dwg



**NOTES -**

- TYPE 'A' CONCRETE CURB AND GUTTER PER CITY S.D.D. 3.06
- 5" CONCRETE SIDEWALK
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.

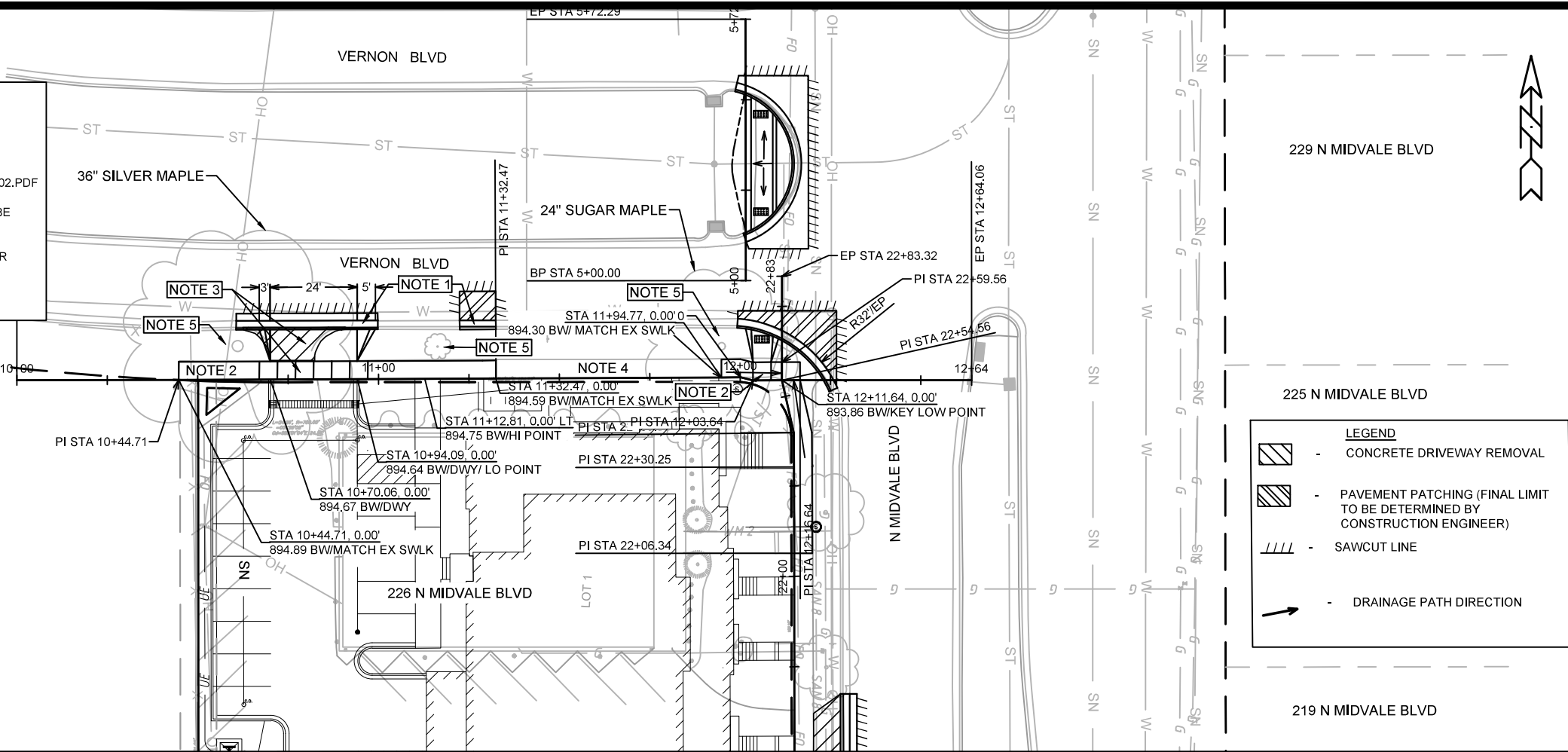


14032	14032	14032	14032	14032
MADISON, WI	MADISON, WI	MADISON, WI	MADISON, WI	MADISON, WI
9145	9145	9145	9145	9145
14032	14032	14032	14032	14032
P-1	P-1	P-1	P-1	P-1

PLAN & PROFILE - N MIDVALE BOULEVARD  
 226 N MIDVALE BOULEVARD  
 M:\DESIGN\Projects\14032\CAD\Streets\14032EN-PnP.dwg  
 City of Madison Wisconsin  
 14032  
 P-1

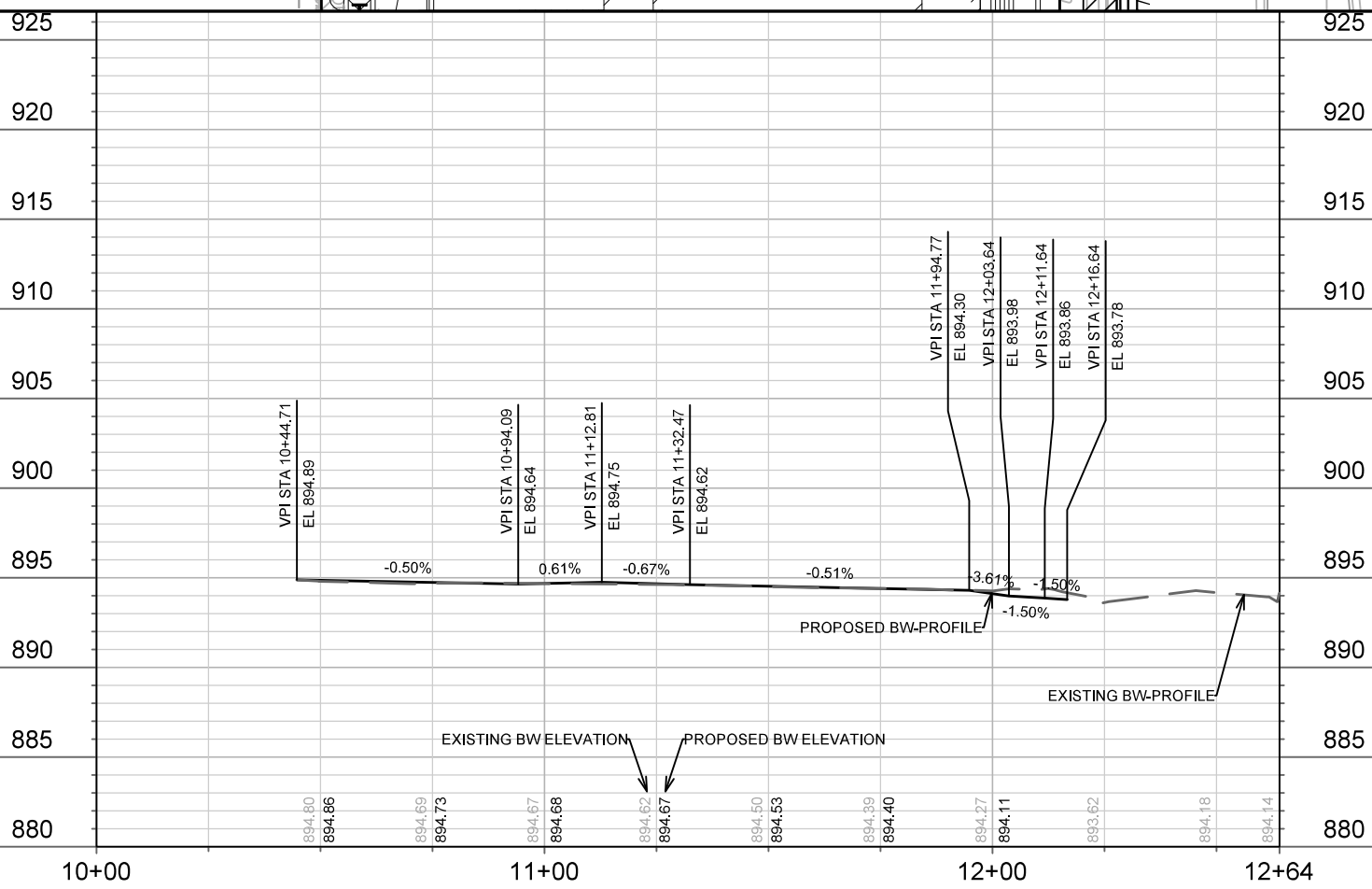
**NOTES -**

1. TYPE 'A' CONCRETE CURB AND GUTTER PER CITY S.D.D. 3.06
2. 5" CONCRETE SIDEWALK
3. 7" CONCRETE DRIVEWAY & SIDEWALK  
SEE COMMERCIAL DRIVEWAY PERMIT  
No.LNDUSE-2021-00097  
M:\DESIGN\Traffic\Maps\_Plans\ParkingLotPlans\TE\MMidvale Blvd N 216-221 Midvale Blvd 216 Permit\_220302.PDF
4. EXISTING SIDEWALK TO REMAIN
5. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.



**LEGEND**

- CONCRETE DRIVEWAY REMOVAL
- PAVEMENT PATCHING (FINAL LIMIT TO BE DETERMINED BY CONSTRUCTION ENGINEER)
- SAWCUT LINE
- DRAINAGE PATH DIRECTION



MARK	REVISION	DATE	BY

14032  
MADISON, WI  
9145  
CONTRACT NO:

PLAN & PROFILE - VERNON BOULEVARD  
226 N MIDVALE BOULEVARD  
M:\DESIGN\Projects\14032\CAD\Streets\14032EN-PrP.dwg







©Vierbicher Associates, Inc.

27 Jun 2022 - 4:48p M:\Fac Development\210242\_216-222 N Midvale Blvd, Madison\CADD\210242\_Site Utility Plan.dwg by: zdre

ALL PUBLIC IMPROVEMENTS OR WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENT PLANS (CITY CONTRACT NO. 9145 AND PROJECT NO. 14032)

REMOVE AND REPLACE PAVEMENT PER CITY OF MADISON PAVEMENT PATCHING CRITERIA

CONTRACTOR TO PROVIDE UTILITY LINE LOCATES (ULO'S) PRIOR TO UTILITY CONSTRUCTION

MIDVALE BOULEVARD

SAS #3752-009  
RIM=895.83  
EI=887.68 N  
(ABANDON) EI=890.03 W

CORE AND BOOT 6" LATERAL  
EI=887.78 SW

RECONSTRUCT BENCH AND FLOW LINES

INSTALL ELECTRONIC MARKER BALL ABOVE LATERAL (TYP.)

PLUG STORM LATERAL (TEMP.)  
SEE PERMIT ENGRSRP-2022-1081

6" SANITARY SERVICE TO PROPERTY LINE  
10'-6" PVC @ 1.04%  
EI=887.88  
(REFER TO PRIVATE SITE DEVELOPMENT PLANS FOR CONTINUATION)

PLUG SANITARY LATERAL (TEMP.)  
SEE PERMIT ENGRSRP-2022-1080

6" SANITARY SERVICE TO PROPERTY LINE  
10'-6" PVC @ 1.04%  
EI=886.60  
(REFER TO PRIVATE SITE DEVELOPMENT PLANS FOR CONTINUATION)

PRIVATE 12" EI=890.72  
(REFER TO PRIVATE SITE DEVELOPMENT PLANS FOR CONTINUATION)

PLUG STORM LATERAL (TEMP.)  
SEE PERMIT ENGRSRP-2022-1081

PRIVATE STORM LATERAL  
P1: 19' - 12" RCP @ 1.04%

NEW H INLET  
W/ R-3067-7004VB  
FIELD POUR  
TC=893.42  
EI=890.52 N  
EI=890.52 SW

REMOVE EX. IN3752-008

REMOVE AND REPLACE PAVEMENT PER CITY OF MADISON PAVEMENT PATCHING CRITERIA

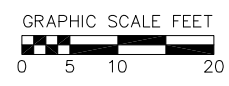
6"x6" TAPPING SLEEVE AND VALVE

6" WATER SERVICE TO PROPERTY LINE  
(REFER TO PRIVATE SITE DEVELOPMENT PLANS FOR CONTINUATION)

PROPOSED 5-STORY BUILDING  
1ST=899.93  
LOBBY=898.60  
1ST FLOOR PARKING=899.93  
BASEMENT PARKING=898.60

EXISTING 10' UTILITY EASEMENT, DOC. #953198

NOTES:  
1. SEE SHEET D-1 - UTILITY NOTES



REVISIONS	NO.	DATE	REMARKS

DATE  
06/15/2022

DRAFTER  
ZDRE

CHECKED  
JZAM

PROJECT NO.  
210242

CITY PROJECT NO. 14032  
CONTRACT NO. 9145

**U-1**