

Madison, Wisconsin

CITY OF MADISON

CITY ENGINEERING DIVISION

DEPARTMENT OF PUBLIC WORKS

PLAN OF PROPOSED IMPROVEMENT

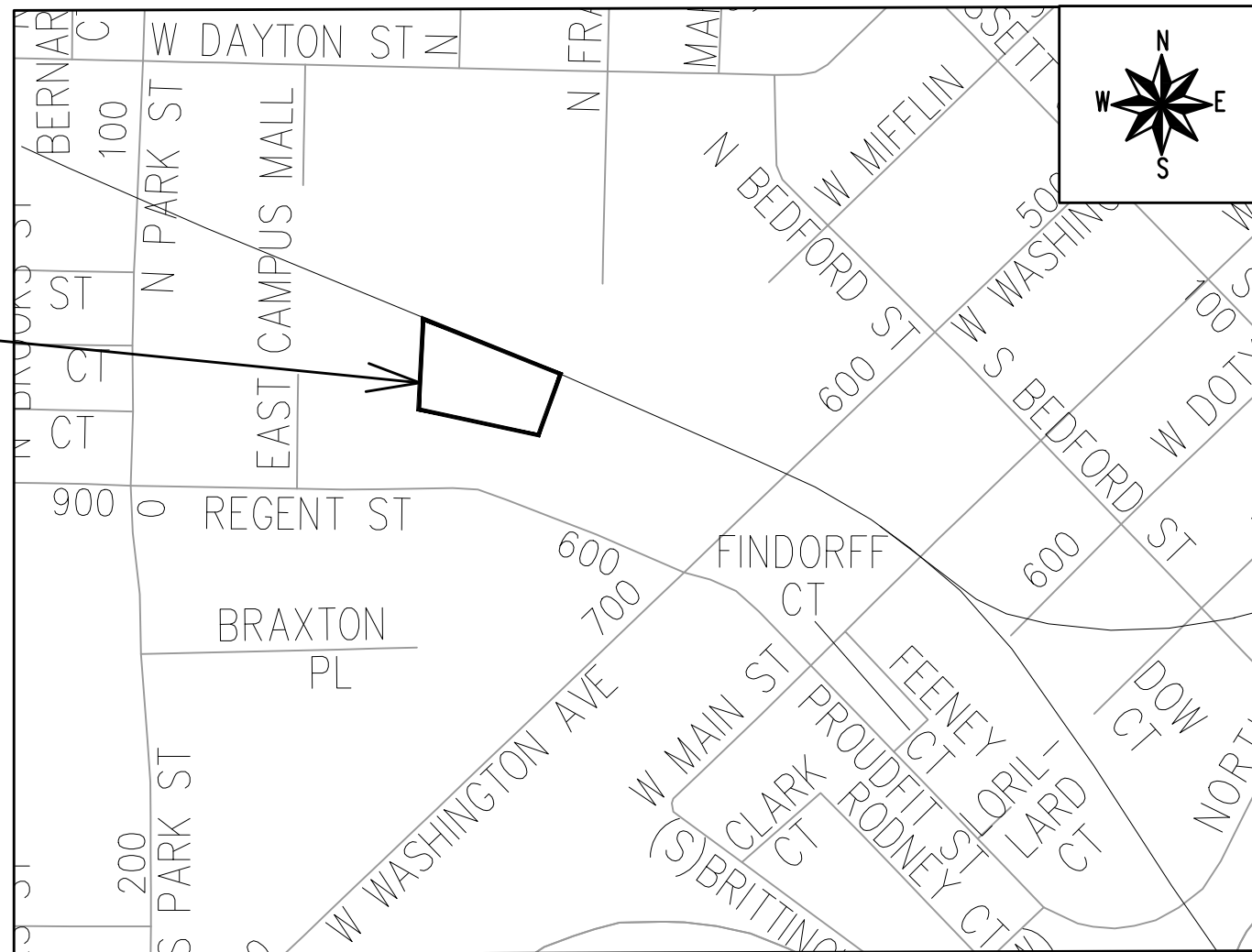
INDEX OF SHEETS

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SHEET NO. L100	LANDSCAPE PLAN
NO MAINTENANCE PLAN	

750 REGENT STREET

CITY PROJECT NO. 14191
CONTRACT NO. 9182

**PROJECT
LOCATION**



PUBLIC IMPROVEMENT PROJECT
APPROVED

MAY 24, 2022

BY THE COMMON COUNCIL
OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN
APPROVED BY:

CV- Greg Fries

Sep 7, 2022

City Engineer

Date

SIDEWALK GRADES
DESIGNED BY:

**SEE
INDIVIDUAL
SHEET**

STORM SEWER
DESIGNED BY:

**SEE
INDIVIDUAL
SHEET**

WATER
DESIGNED BY:

**SEE
INDIVIDUAL
SHEET**

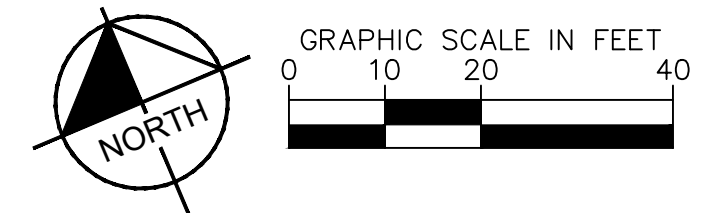
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PLOT NAME: ---

REV. DATE: 8/9/2022 3:05 PM

ORIGINATOR: CITY_OF_MADISON

Drawing name: K:\CHS_DES\186972000_Triples_Madison_WI2_Design\CAD\Sheets\A\04_Public_Plans\C21 - DEMOLITION PLAN.dwg C1.0 Sep 03, 2022, 9:22am by: Travis Greenwell
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PROJECT NUMBER: 14191
 CONTRACT NUMBER: 9182

No.	REVISIONS	DATE	BY
1	CITY COMMENTS	08/30/22	JPM
2	CITY COMMENTS	08/29/22	JPM
3	PRIVATE IMPROVEMENT REVISIONS	08/02/22	JPM
4	CITY COMMENTS	05/09/22	JPM

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 600 N. WASHINGTON AVE., SUITE 600
 WARRENVILLE, IL 60555
 PHONE: 630-497-5550
 WWW.KIMLEY-HORN.COM



SCALE: AS NOTED
 DESIGNED BY: JPM
 DRAWN BY: JPM
 CHECKED BY: ANH

DEMOLITION PLAN

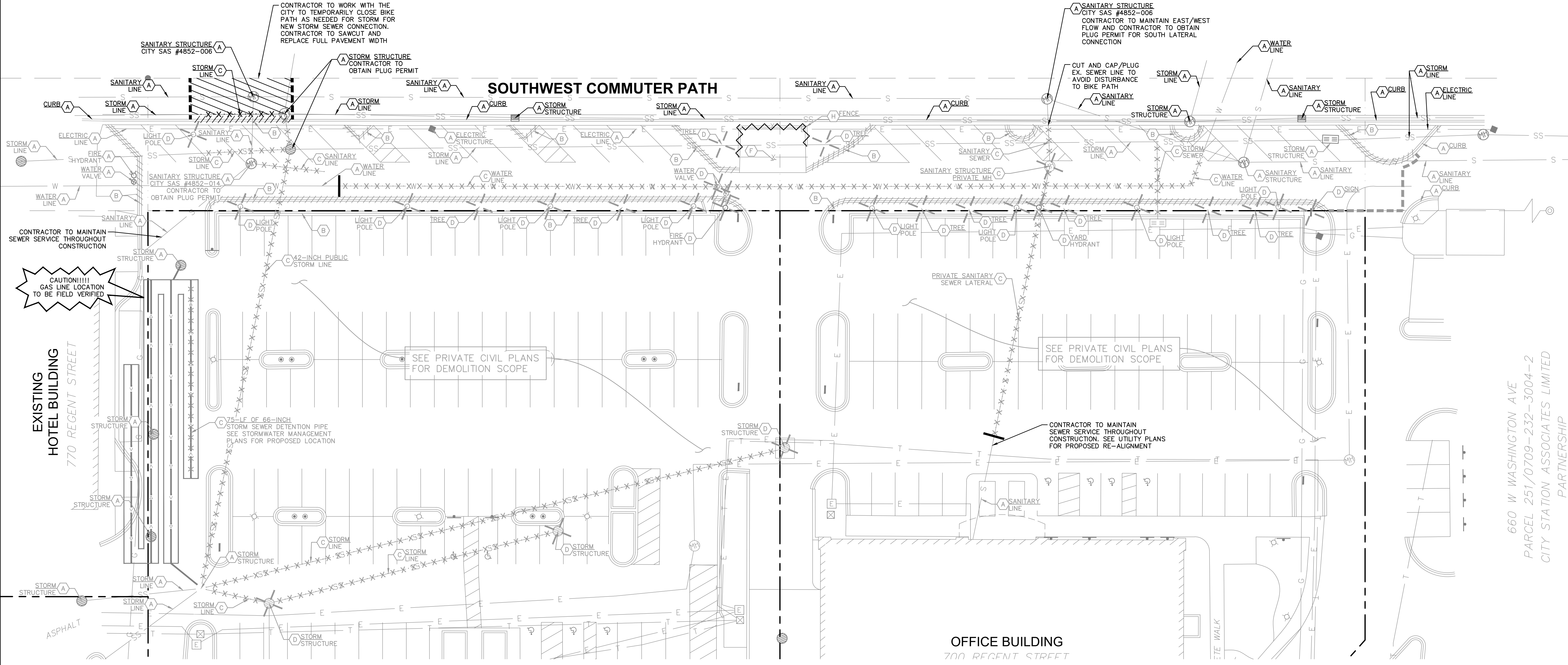
ATMOSPHERE APARTMENTS
 750 REGENT STREET
 MADISON, WISCONSIN
 PROJECT NUMBER: 14191
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ORIGINAL ISSUE:
 04/29/22
 KHA PROJECT NO.
 268072000
 SHEET NUMBER

C1.0

RAILROAD RIGHT-OF-WAY

SOUTHWEST COMMUTER PATH



CAUTION!!!!
GAS LINE LOCATION TO BE FIELD VERIFIED

SEE PRIVATE CIVIL PLANS FOR DEMOLITION SCOPE

SEE PRIVATE CIVIL PLANS FOR DEMOLITION SCOPE

CONTRACTOR TO MAINTAIN SEWER SERVICE THROUGHOUT CONSTRUCTION. SEE UTILITY PLANS FOR PROPOSED RE-ALIGNMENT

660 W WASHINGTON AVE
 PARCEL 251/0709-232-3004-2
 CITY STATION ASSOCIATES LIMITED PARTNERSHIP

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING WSDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'DIGGERS HOTLINE' (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE APPROVED CRUSHED LIMESTONE OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

DEMOLITION LEGEND

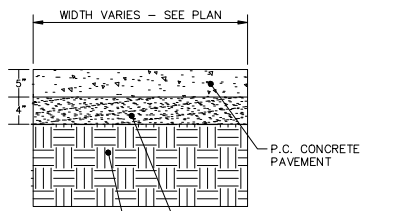
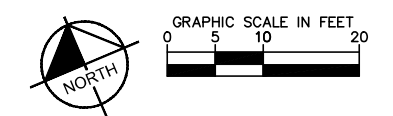
(A)	ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
(B) - - - -	CURB REMOVAL
(C) X X	UTILITY REMOVAL
(D) X X	ITEM TO BE REMOVED
(E) [Hatched Box]	FULL-DEPTH ASPHALT PAVEMENT REMOVAL
(F) [Cross-hatched Box]	CONCRETE REMOVAL
(G) - - - -	SAWCUT LINE
(H) [Wavy Line]	FENCE/WALL REMOVAL

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

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PROJECT NUMBER: 14191
 CONTRACT NUMBER: 9182



- NOTES:**
1. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
 2. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
 3. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
 4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 5. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
 6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

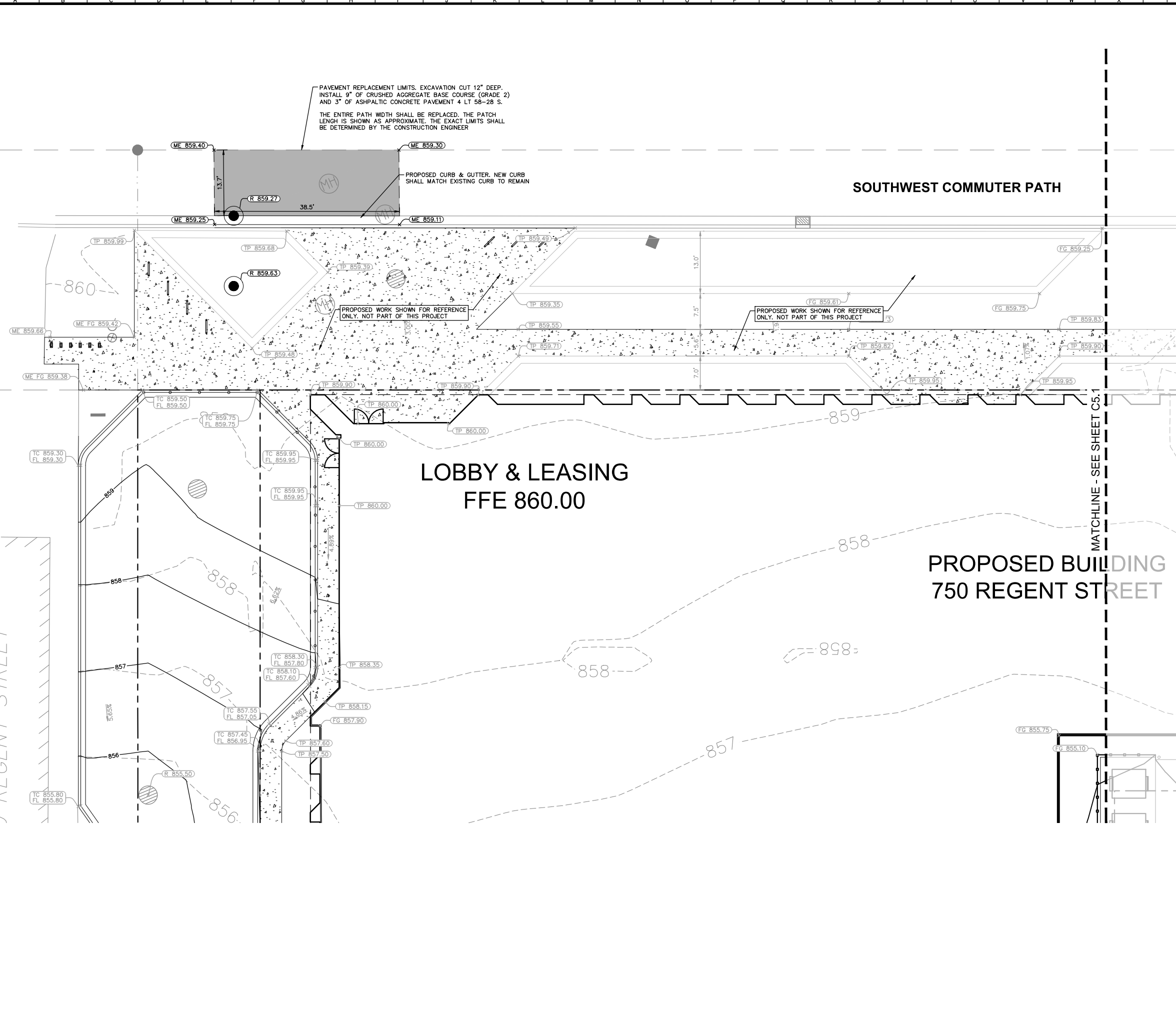
CONCRETE SIDEWALK
N.T.S.

GRADING NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING & PAVING LEGEND

TP = TOP OF PAVEMENT	CONCRETE SIDEWALK SEE SHEET 2.0 FOR PAVEMENT SECTION
FL = FLOW LINE	BIKE PATH PAVEMENT
TC = TOP OF CURB	3" ASPHALTIC CONCRETE PAVEMENT (4 LT 58-28 S) ON 9" AGGREGATE BASE COURSE (GRADE 2)
ME = MATCH ELEVATION	STANDARD PITCH CONCRETE CURB AND GUTTER
R = RIM ELEVATION	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
FG = FINISHED GRADE	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786)
BS = BOTTOM OF STAIRS	PROPOSED COMBINATION CURB INLET (R6.12 C&G USE NEENAH R-3281-A)
---XXX---	PROPOSED CONTOUR
- - -XXX - - -	EXISTING CONTOUR
—RIDGE—	RIDGE LINE
X.XXX	SLOPE AND FLOW DIRECTION



DATE	BY
08/30/22	JPM
08/29/22	JPM
08/02/22	JPM
05/09/22	JPM
REVISIONS	DATE
NO.	

Kimley Horn
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 38037-6 CHICAGO, IL
 WWW.KIMLEY-HORN.COM

ANDREW N. HEINEN
 38037-6 CHICAGO, IL
 PROFESSIONAL ENGINEER

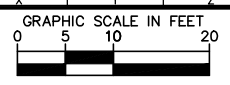
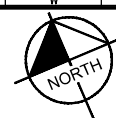
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 DESIGNED BY: JPM
 DRAWN BY: JPM
 CHECKED BY: ANH

SIDEWALK PAVING & GRADING PLAN WEST

ATMOSPHERE APARTMENTS
 750 REGENT STREET
 MADISON, WISCONSIN
 PROJECT NUMBER: 14191
 CONTRACT NUMBER: 9182

ORIGINAL ISSUE: 04/29/22
 KHA PROJECT NO. 268072000
 SHEET NUMBER **C2.0**

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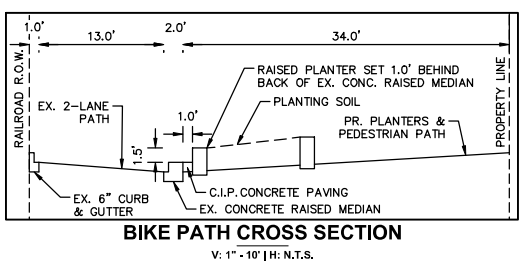
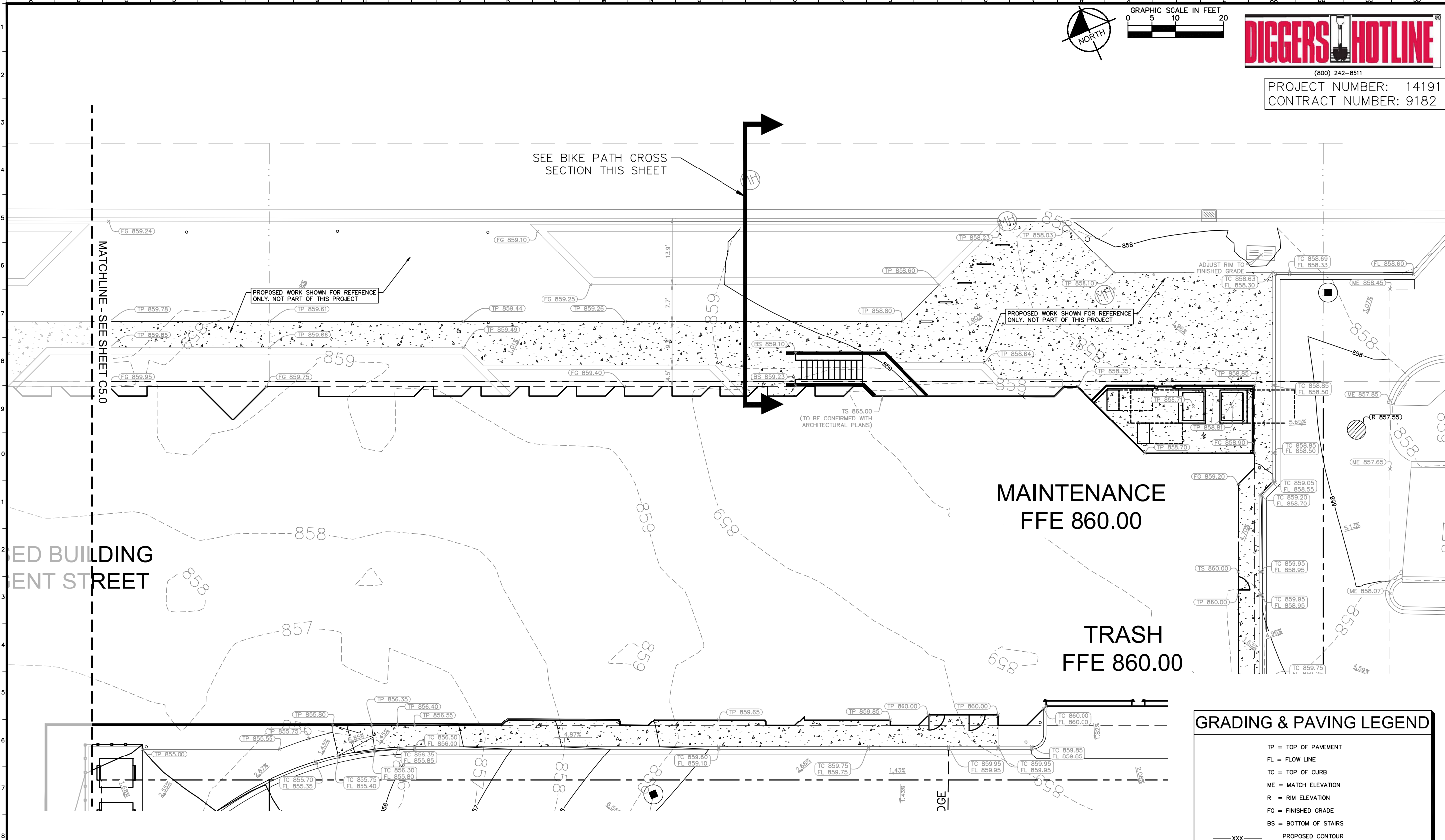
Kimley-Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 WARRENVILLE, IL 60558
 PHONE: (312) 487-5550
 WWW.KIMLEY-HORN.COM



SCALE: AS NOTED
 DESIGNED BY: JPM
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 CHECKED BY: ANH

ATMOSPHERE APARTMENTS
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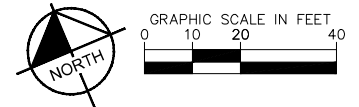
- ### GRADING NOTES
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GRADING & PAVING LEGEND

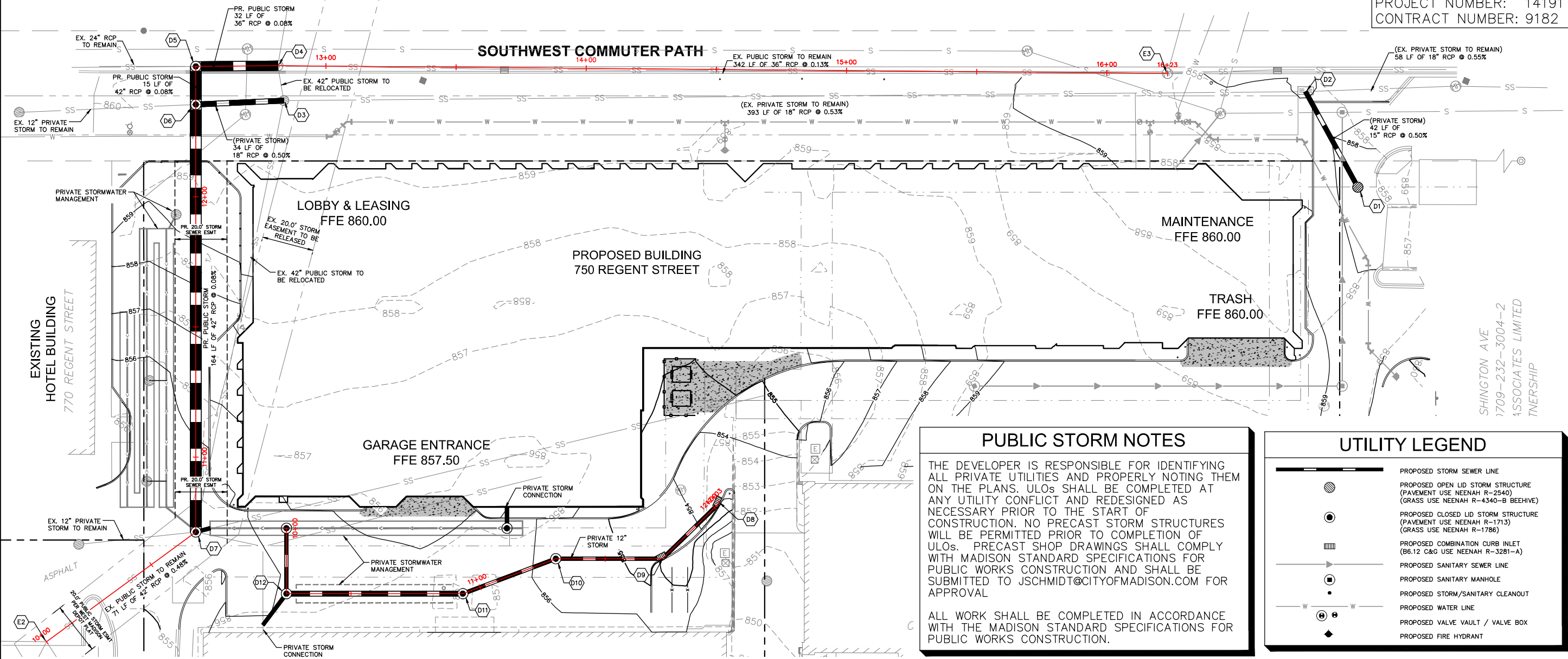
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[Pattern]	CONCRETE SIDEWALK SEE SHEET 2.0 FOR PAVEMENT SECTION
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[Symbol]	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786)
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RAILROAD RIGHT-OF-WAY



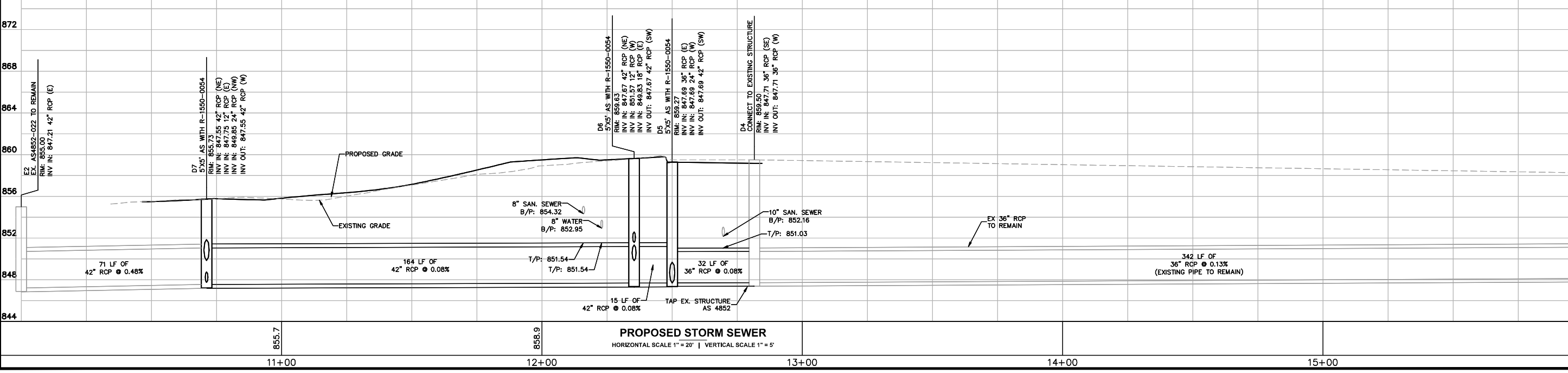
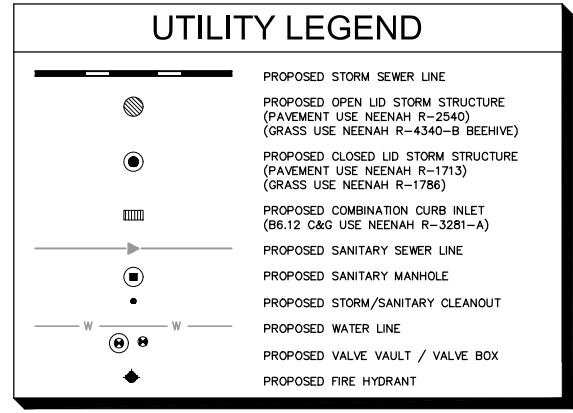
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PUBLIC STORM NOTES

THE DEVELOPER IS RESPONSIBLE FOR IDENTIFYING ALL PRIVATE UTILITIES AND PROPERLY NOTING THEM ON THE PLANS. ULOs SHALL BE COMPLETED AT ANY UTILITY CONFLICT AND REDESIGNED AS NECESSARY PRIOR TO THE START OF CONSTRUCTION. NO PRECAST STORM STRUCTURES WILL BE PERMITTED PRIOR TO COMPLETION OF ULOs. PRECAST SHOP DRAWINGS SHALL COMPLY WITH MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE SUBMITTED TO JSCHMIDT@CITYOFMADISON.COM FOR APPROVAL.

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.



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1	CITY COMMENTS	08/30/22	JPM
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Kimley-Horn
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 PHONE: (312) 487-5550
 WWW.KIMLEY-HORN.COM

ANDREW N. HEINEN
 36037-6
 CHICAGO, IL
 PROFESSIONAL ENGINEER

SCALE: AS NOTED
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PUBLIC STORM SEWER PLAN AND PROFILE

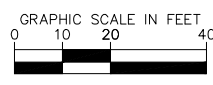
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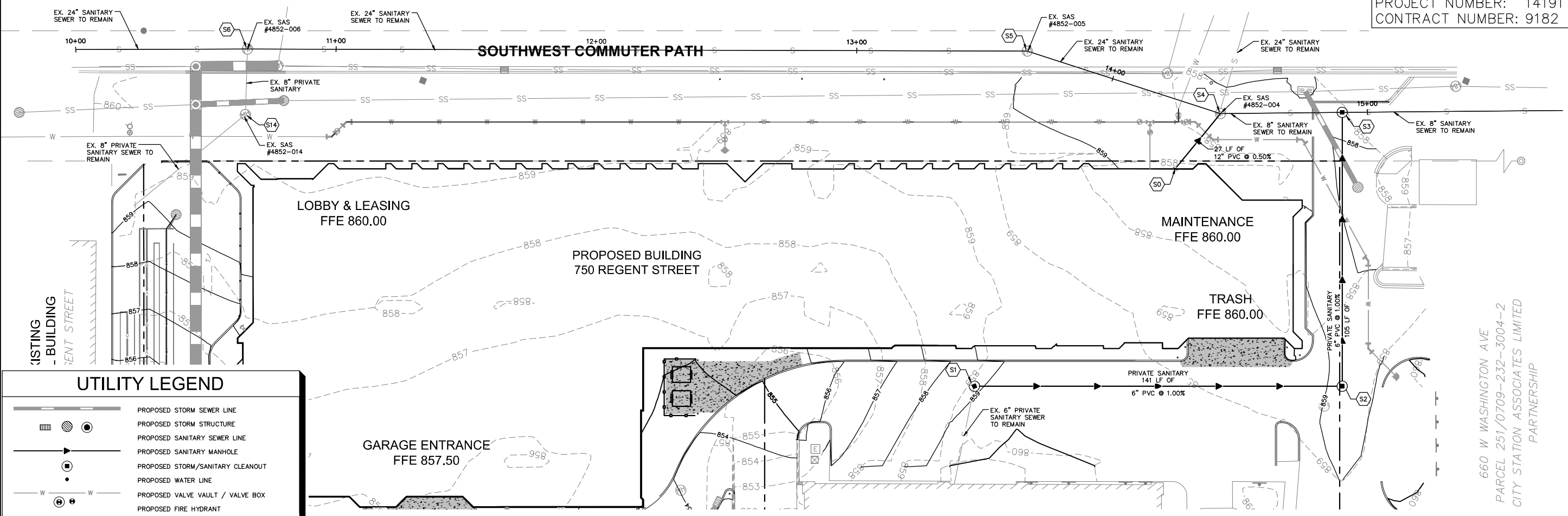
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RAILROAD RIGHT-OF-WAY

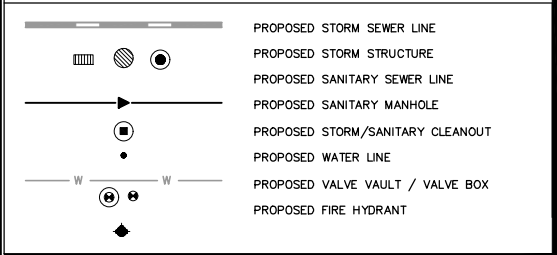


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SOUTHWEST COMMUTER PATH



UTILITY LEGEND



Drawing name: K:\CHS_DESA\268072000_Triples_Madison_WI2_Design\CD\SpecSheet\04 Public Plans\C3.1 - PUBLIC SANITARY SEWER PLAN AND PROFILE - Aug 30, 2022 4:10pm by Joe Mayer
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PHONE: (312) 487-5500
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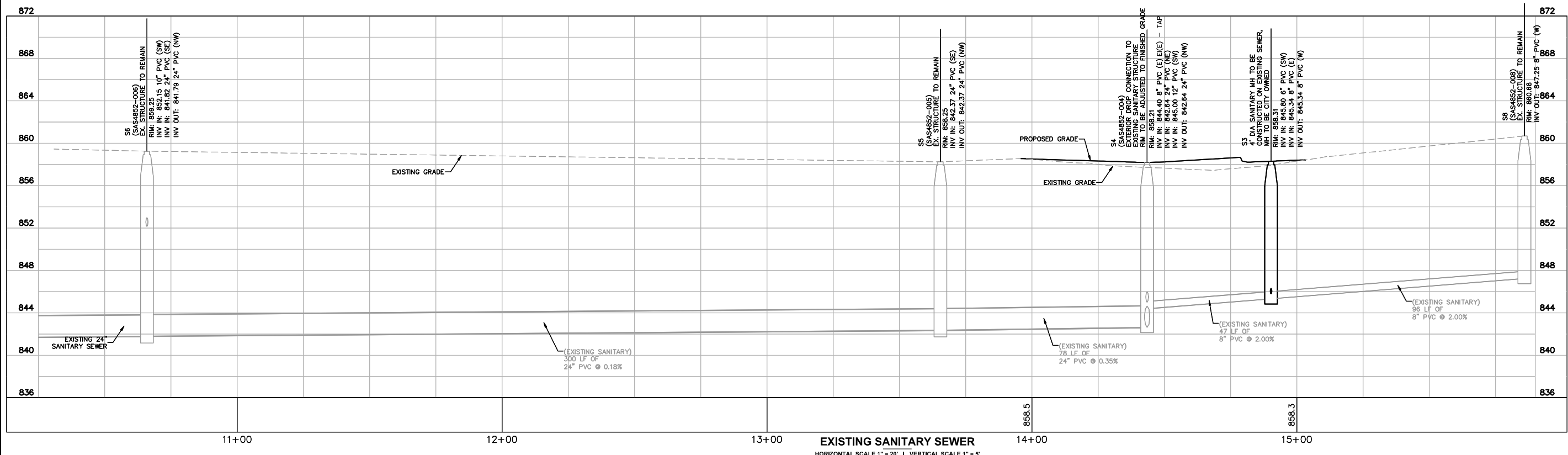
SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: ANH

PUBLIC SANITARY SEWER PLAN AND PROFILE

ATMOSPHERE APARTMENTS
750 REGENT STREET
MADISON, WISCONSIN
PROJECT NUMBER: 14191
CONTRACT NUMBER: 9182

ORIGINAL ISSUE: 04/29/22
KHA PROJECT NO. 268072000
SHEET NUMBER

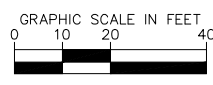
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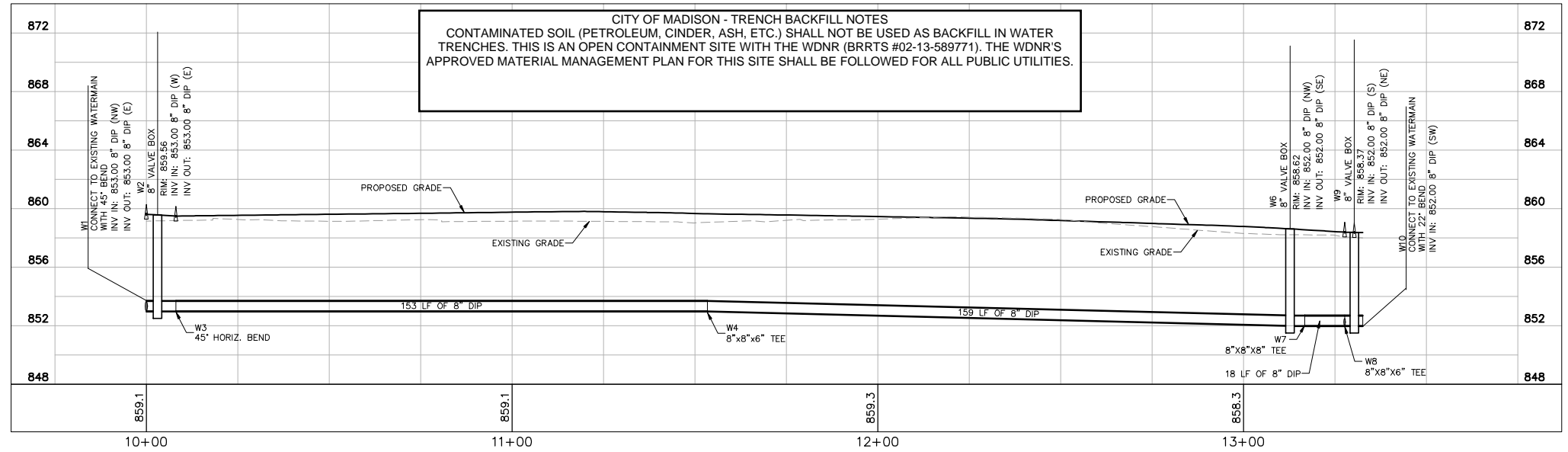
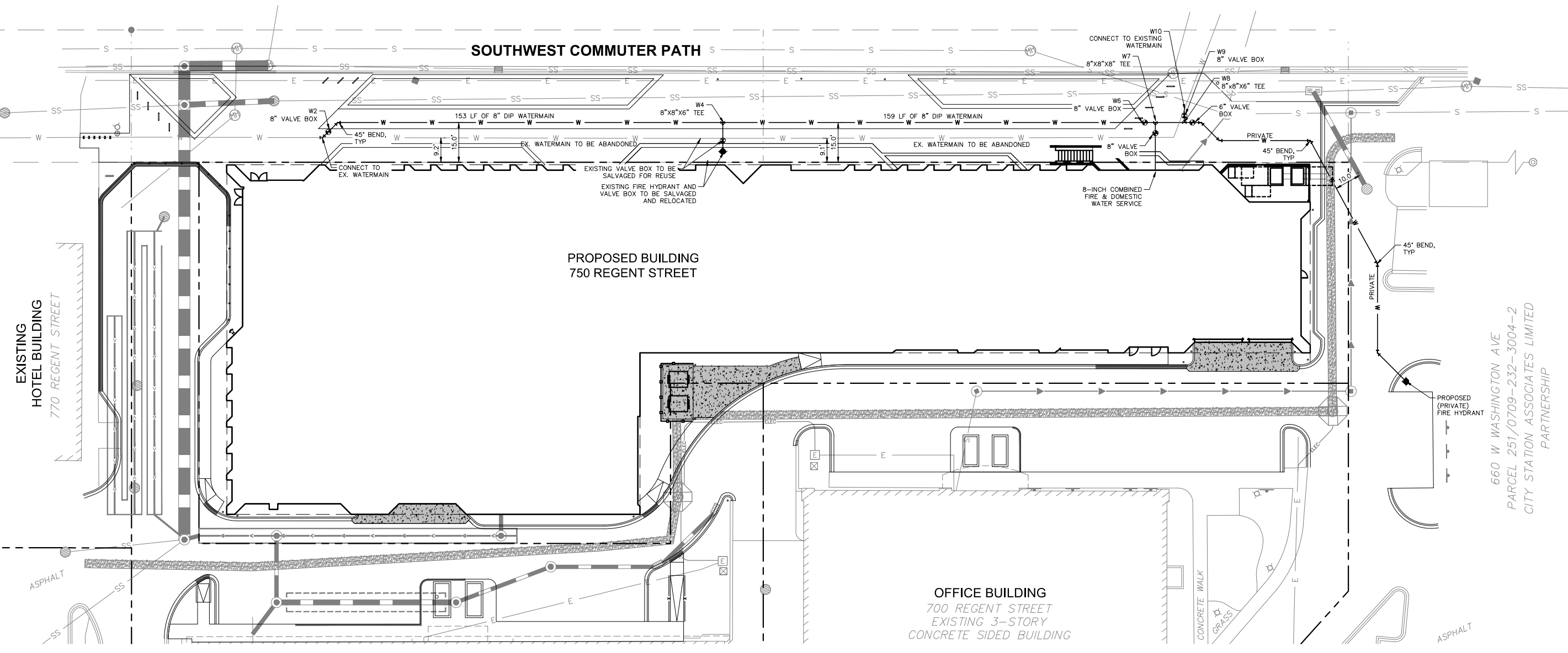
EXISTING SANITARY SEWER
HORIZONTAL SCALE 1" = 20' | VERTICAL SCALE 1" = 5'

Drawing name: K:\CHS_DESA\268072000_Trenches_Madison_WI2_Design\CAD\Sheet\C4.0_Plan\C4.0_Plan.dwg C4.0 - Aug 30, 2022, 4:10pm By: Joe Meyer
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RAILROAD RIGHT-OF-WAY



PROJECT NUMBER: 14191
 CONTRACT NUMBER: 9182



NO.	REVISIONS	DATE	BY
1	CITY COMMENTS	08/30/22	JPM
2	CITY COMMENTS	08/29/22	JPM
3	PRIVATE IMPROVEMENT REVISIONS	08/02/22	JPM
4	CITY COMMENTS	05/09/22	JPM

Kimley Horn
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 WARRENVILLE, IL 60558
 PHONE: (312) 497-5500
 WWW.KIMLEY-HORN.COM



SCALE: AS NOTED
 DESIGNED BY: JPM
 DRAWN BY: JPM
 CHECKED BY: ANH

**PUBLIC WATERMAIN
 PLAN AND PROFILE**

**ATMOSPHERE
 APARTMENTS**
 750 REGENT STREET
 MADISON, WISCONSIN
 PROJECT NUMBER: 14191
 CONTRACT NUMBER: 9182

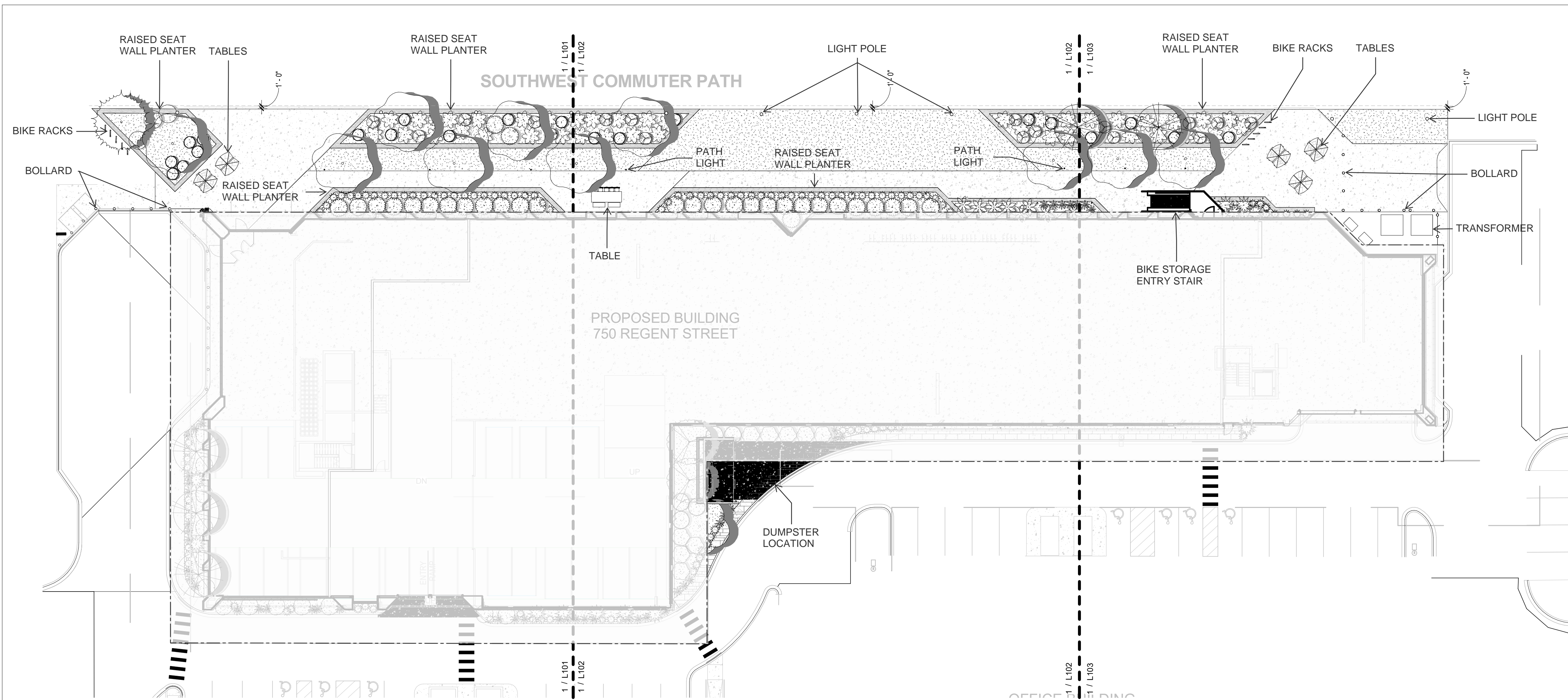
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 04/29/22
 KHA PROJECT NO.
 268072000
 SHEET NUMBER

C4.0

CONSULTANTS

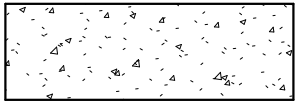

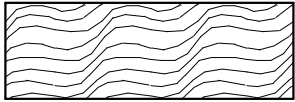
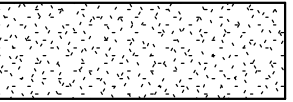
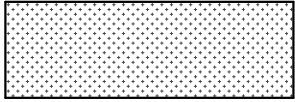
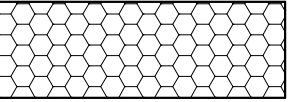
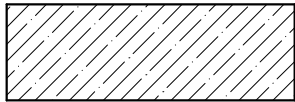
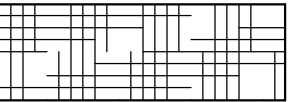
PROJECT TITLE
740 Regent St - Madison, WI

ISSUE #	DATE	DESCRIPTION
3	04/29/2022	PUBLIC IMPROVEMENT PLAN



1 SITE - GROUND LANDSCAPE PLANS 1
L116 1" = 20'-0"

GRAPHIC LEGEND:

 CONCRETE, TYP.	 WOOD TILES; 24" X 24"
 HARDWOOD MULCH, SHREDDED (SEE SPEC)	 TURFGRASS; SOD, IRRIGATED (SEE SPEC)
 PAVER #1, TYP (SEE SPEC)	 PLANTING AREAS; ROCK MULCH #1 W/FABRIC UNDERLAYMENT
 SYNTHETIC TURF (SEE SPEC)	 GREEN ROOF TRAY SYSTEM (SEE SPEC)

CERTIFICATION

DRAWN BY	EN
CHECKED BY	CK
COMMISSION NUMBER	2125.04

SHEET TITLE

SITE-GROUND
LANDSCAPE PLAN

SHEET NUMBER

L100

PROJECT NUMBER: 14191
CONTRACT NUMBER: 19182

